



Village of Hobart
Village Office 2990 S. Pine Tree Rd, Hobart, WI
www.hobart-wi.org - www.buildinhobart.com

Notice is hereby given according to State Statutes that the **SITE REVIEW COMMITTEE** of the Village of Hobart will meet on Wednesday June 19th 2024 at 5:30 P.M. at the Hobart Village Office. **NOTICE OF POSTING:** Posted this 14th day of June, 2024 at the Hobart Village Office, 2990 S. Pine Tree Rd and on the village's website.

MEETING NOTICE – SITE REVIEW COMMITTEE

Date/Time: Wednesday June 19th 2024 (5:30 P.M.)

Location: Village Office, 2990 South Pine Tree Road

ROUTINE ITEMS TO BE ACTED UPON:

1. Call to order/Roll Call.
2. Certification of the open meeting law agenda requirements and approval of the agenda.
3. Approve Minutes of the May 22nd 2024 meetings (Page 2)
4. Public Comment on Non-Agenda Items

ACTION ITEMS

5. DISCUSSION AND ACTION – Election of Committee Chairperson and Vice-Chairperson

6. DISCUSSION AND ACTION - Evora, 720-730 Centerline Dr.; HB-523-6; 120 unit Leased Multi-Family Residence Development (Page 4)

Lexington Homes, Inc. is proposing a new 120-unit leased multi-family residential development consisting of two (2) 60-unit three-story buildings, both with attached garages and additional detached garage buildings. (Owner/Developer: Lexington Homes, Inc; Applicant: Robert E. Lee & Associates / Bayland Buildings, Inc.)

7. ADJOURN

Aaron Kramer – Village Administrator

Members: Dave Dillenburg, Tammy Zittlow, Dave Baranczyk, Rick Nuetzel, Tom Tengowski, Peter Zobro, Steve Riley

NOTE: Page numbers refer to the meeting packet. All agenda and minutes of Village meetings are online: www.hobart-wi.org. Any person wishing to attend, who, because of disability requires special accommodations, should contact the Village Clerk-Treasurer at 920-869-1011 with as much advanced notice as possible. Notice is hereby given that action by the Committee may be considered and taken on any of the items described or listed in this agenda. There may be Committee members attending this meeting by telephone if necessary.



Village of Hobart Site Review Committee Minutes
Hobart Village Office; 2990 S. Pine Tree Rd, Hobart, WI
Wednesday, May 22, 2024 – 5:30 pm

1. Call to Order, Roll Call:

The meeting was called to order by Dave Dillenburg at 5:32 pm. Roll call: Dave Dillenburg, aye; Tammy Zittlow, aye; Steve Riley, absent; Dave Baranczyk, excused; Tom Tengowski, aye; Peter Zobro, absent; Rick Nuetzel, aye.

2. Verify/Modify/Approve Agenda:

Motion Rick Nuetzel, seconded by Tammy Zittlow, to approve the agenda as presented. Motion carried 4-0.

3. Approval of Site Review Minutes:

Motion by Dave Dillenburg, seconded by Rick Nuetzel, to approve the October 18, 2023, minutes as presented. Motion carried 3-0. Tom Tengowski abstained.

4. Public Comment on Non-Agenda Items:

None.

5. DISCUSSION AND ACTION - New 11,873 square foot commercial building and associated site improvements – 4999 Founders Terrace, HB-524-2:

Director of Planning & Code Compliance, Todd Gerbers, presented the committee with the proposed project.

The committee discussed.

Peter Zobro joined the meeting at 5:42 pm.

Steve Riley joined the meeting at 5:43 pm.

David O'Brien, Bayland, was available to answer questions regarding the project.

Motion by Rick Nuetzel, second by Peter Zobro to conditionally approval of the site plan as submitted, subject to the following:

1. Increase width of paved driveway from 12' to 14' in southwest exit lane from center vacuum area
2. Add hydrant to west side of building in green area south of west vacuum area
3. Village hydrant relocation can be performed by onsite utility contractor under Village supervision and standards
4. Founders Terrace roadway concrete replacement will be full panel replacement approved by the Village and replaced per original roadway specifications
5. Light Pole relocation will be by Village contractor reimbursed by developer
6. Wall signs to be located as noted on the submitted building elevation drawing with the possibility to locate a second wall sign on the side walls (Noth and South elevations) of the

two end tenant units. Signage details for all proposed signs on site shall be submitted for approval prior to installation

7. Alterations to the landscape plan following confirmation from WPS on the 20' gas line easement located along Centerline Dr. shall be approved by Village Staff. This may include the reduction in the number of trees located along Centerline Dr.
8. Should any equipment being installed on the roof it shall be screened from view by materials compatible with those used for the principal structure. Any such equipment located on the ground shall be screened from view by landscaping or fencing to compliment the building and overall landscaping

Motion carried 6-0.

8. Adjourn:

Motion by Tammy Zittlow, seconded by Tom Tengowski, to adjourn. Motion carried 6-0. Adjourned at 6:17 pm.



TO: Site Review Committee

RE: Evora, 720-730 Centerline Dr.; HB-523-6; 120 unit Leased Multi-Family Residence Development

FROM: Todd Gerbers, Director of Planning and Code Compliance

DATE: June 19, 2024

ISSUE: Discussion and action on request for a 120-unit, 2 building leased multi-family residence development with both attached and detached garage stalls.

RECOMMENDATION: Staff recommends conditional based on staff recommendation and any conditions the Committee may identify.

GENERAL INFORMATION

1. Owner/Developer: Lexington Homes, Inc.
2. Applicant/Agent: Robert E. Lee & Associates, Inc.
3. Address/Parcel: 720-730 Centerline Dr., HB-523-6
4. Zoning: PDD #1: Centennial Centre at Hobart District
5. Use: 120-unit, 2 building leased multi-family residence development with both attached and detached indoor garage stalls

BACKGROUND

Lexington Homes, Inc. is proposing a new 120-unit leased multi-family residential development consisting of two (2) 60-unit three-story buildings, both with attached garages and additional detached garage buildings.

SITE REVIEW DEVELOPMENT AND DESIGN STANDARDS CHECKLIST

Section 3, Site Plan Approval

- A. Zoning:** PDD #1: Centennial Centre at Hobart District
- B. Green Space:** 58.7% green space, exceeding the 25% requirement (REL sheet 3)
- C. Setbacks:** Compliant with zoning district required setbacks (code/(proposed)) – Front 30/(30), Side 15/(25), Rear 25/(50) (REL sheet 3)
- D. Parking:** The requirements for multi-family developments are 1 and 1/2 stalls per unit plus one guest space provided for each four units and 50% of the required parking must be enclosed. Thus 210 parking stalls are required, with 105 of those being enclosed (garage stalls.) The development provides a total of 211 parking stalls with 129 of those stalls being enclosed/garage stalls. (REL sheet 3)
- E. Fire Dept. and Police Dept.:** The plans presented are in the process of being reviewed by the Police Chief and Fire Chief and any comments or concerns will be presented at the meeting.

- F. Storm Water:** Storm water from the proposed building and parking areas will be collected by storm sewer and discharge into the proposed multiple dry ponds within the development. These ponds will treat the stormwater for TSS removal and peak discharge.
- G. Refuse/Recycling Collection:** The refuse/recycling enclosure will be located to the west side of the development and consist of a 6' "metal wrapped enclosure. The use of chain-link fencing in this district is prohibited. (REL sheets 3 and 10)

Section 4, Architectural Plan Approval

A. Exterior Construction Information:

1. **Exterior Materials:** The buildings will be a mixture of stone and siding, employ architectural shingles, and architecturally enhanced dwelling entry doors and overhead garage doors. The end walls of the eastern most multi-family structure and the rear of the detached garage that face either Centerline Dr. and HWY 29, are recommended by Village Staff to increase percentage of masonry and/or contain architectural designs to break up the tall or long walls of siding.
2. **Height:** The two multi-family structures will be about 45'-6" in height which will require approval from the SRC as the Zoning Code has a maximum height of 35' unless approved otherwise by the Site Review Committee".
3. **Overhead doors:** Standard residential overhead garage doors to unit garages.
4. **Mechanical equipment:** All exterior HVAC grills/equipment shall be of the same color as primary structure.

Section 5, Landscaping Plan: The landscape plan is still evolving as the developer is planning to shift some of the plantings from within the development to be located closer to Centerline Dr. to help reduce visibility to the proposed structures. A revised plan will most likely be brought to the meeting for consideration.

Section 6, Lighting: There are not any pole mounted lights in this development. Wall mounted lights will be mounted on the walls facing the parking areas and will consist of "dark sky" style fixtures.

Section 7, Signage: Although not shown on the site plan, one sign location is proposed is proposed between the two easternly driveways along Centerline Dr. A second sign near the westerly driveway was discussed, but not shown on the site plan. The proposed site sign is shown at 27.33 square feet (3'-5" x 8') with an overall height of 5'-11". (REL sheet 10)

Section 8, Driveway-Curb Cut: Three ingress/egress locations are note along Centerline Dr., with the sizes of 31' (35' maximum by code).

RECOMMENDATION/CONDITIONS

Staff recommends conditional approval, subject to the following in addition to any conditions the Site Review may identify:

1. Increase percentage of masonry and/or incorporate architectural designs to break up the tall and/or long walls of siding that face a public roadway along both end walls of easterly multi-family structure and southerly (18 stall) detached garage.
2. All exterior wall mounted HVAC grills/equipment shall be of the same color as primary structure
3. Developer providing details on the materials noted for the "metal wrapped enclosure" for the refuse and recycling enclosure.
4. Developer providing details on drive lane and driveway opening widths to Village Staff and Fire Chief for approval.
5. Lock Box location(s) to be approved by Fire Department.

VILLAGE OF HOBART

SITE REVIEW / DEVELOPMENT AND DESIGN STANDARDS PROCESS & APPROVAL

PLAN SUBMITTAL REQUIREMENTS:

- Fifteen (15) copies 11 x 17 or size that is legible with all information required by this process.
- Fifteen (15) copies of the Completed Checklist
- This checklist with complete information no later than ten 10 business days prior to the Third Tuesday of the month to the Village Clerk; NO LATER THAN 1200 HOURS. (Noon)
- One (1) full size set of site plans.
- One (1) full size set of building plans, Ready for State Approval
- All site plans shall be drawn to an engineering scale no greater than one-(1) inch equals one hundred (100) feet.
- Signs not part of this application would be a considered a separate application
- Application fee of \$150.

ALL INFORMATION MUST BE COMPLETE PRIOR TO SCHEDULING A MEETING OF THE SITE REVIEW COMMITTEE. NO BUILDING PERMIT WILL BE ISSUED WITHOUT APPROVED PLANS FROM THE SITE REVIEW COMMITTEE.

1. LOCATION

Project / Development / Site Location / intersection (section town & range)

Evora Multifamily Development located at 720 Centerline Drive in the Village of Hobart

2. TYPE OF DEVELOPMENT

Size of Parcel (acreage or square footage): 7.00 ACRES 304,937 S.F.

Size of facility(square footage): 2 15,966 SF multifamily Buildings and associated Garages

Type of facility: Multifamily

Developer: Lexington Homes, Inc.

Address: 1256 Centennial Centre Blvd Hobart, WI 54155 Phone: 920-662-9641

Engineer: Robert E Lee and Associates, Inc.

Address: 1250 Centennial Centre Blvd, Hobart, WI 54155 Phone: 920-662-9641

Contractor: Lexington Homes Inc.

Construction Firm: _____

Address: 1256 Centennial Centre Blvd Phone: 920-609-5577

Revised 1-23-08

3. **SITE PLAN APPROVAL**

A. Industrial Business Park Commercial

Multi-Family

Current Zoning: PUD #1 – CENTENNIAL CENTRE AT HOBART DISTRICT

Other – Identify: _____

Erosion Control Plan on file: _____ YES NO

% of Green Space: 59%

B. Orientation – Provide scale map of parcel and facility, (show north indicating arrow, and a graphic scale)

C. Setback Information: TBD Complies with Ordinance: Yes

D. # of parking stalls (Include Handicapped parking): 44 COVERED ATTACHED STALLS 72 COVERED DETACHED STALLS 82 SURFACE STALLS (4 HANDICAP) TOTAL 198 STALLS

E. Show the following Utilities and all easements including but not limited to the following facilities types:

1) Electric underground overhead

2) Natural Gas

3) Telephone

4) Water / Fire Hydrants

5) Fiber Optic Lines

6) Other transmission lines _____

7) Ingress – egress easements _____

F. Total Site Build-out including future structures and setbacks:

Complies with ordinance YES _____ NO

G. Identify on the Site Plan Key: Spot Elevations: such as Center of Street, Driveway apron, 4 - corners of lot, building elevations, building floor, key drainage points & ditches on local USGS Datum:

Data Complete: _____ YES NO

- H. Adjacent streets and street rights-of-ways and fire lanes:
 - 1) Fire Chief has reviewed and approved: ____ YES NO
 - 2) Not applicable_____

- I. Water bodies and wetlands. Over 1-acre disturbed requires storm water plan.
 - 1) Surface water holding ponds, drainage ditches, and drainage patterns, location and size of culverts
 - 2) Name and address and phone# of engineer of project plan:

Jared Schmidt – Robert E Lee and Associates, Inc.
1250 Centennial Centre Blvd, Hobart, WI 54155

- J. Sidewalks, walkways, and driveways: X
- K. Off street loading areas and docks: X
- L. Fences and retaining walls or berms: X

- M. Location & Size of exterior refuse collection areas (must be enclosed a minimum of three (3) sides):

See attached images

- N. Location and dimensions of proposed outdoor display areas:_____
-
-

4. ARCHITECTURAL PLAN APPROVAL

- A. Exterior construction information:

- 1) Type of Construction Materials: Wood Frame
- 2) Exterior Materials: horizontal and vertical siding, glass, and Stone
- 3) Height of Facility: 45.5'
- 4) Compatibility with existing adjacent structure: _____ (Attach Photos)
- 5) Other unique characteristics: _____

5. **LANDSCAPING PLAN**

If planting new trees in Village right-of-way, a requirement of a 1.5” caliper or greater of the tree at 12” above ground is needed, according to planting ordinance specifications. A tree-planting plan must be filed with the application. Tree placement is 1-tree every 50 feet of frontage.

Provide scaled landscaping of plan for parcel

Identify tree and location specifics – Quantity / Diameter, etc: SEE LANDSCAPE PLAN

Identify Shrubs & Location Specifics - Quantity: _____

Identify Buffering -Type – Quantity:

6. **LIGHTING PLAN**

Provide scaled lighting plan for parcel

Identify Exterior Building Lighting – Quantity, Wattage, Location :

Full cutoff light poles and light packs, see cut sheets

See attached lighting cut sheets and plans for light locations

Identify Parking Lighting – Quantity – Wattage – Location :

See cut sheets, see REL Sheet 2

Identify other Lighting – Quantity – Wattage – Location:

7. **SIGNAGE**

Provide scaled drawings.

Provide Site Plan for signage

Provide building elevations with signage.

Discussion: Signage included in Civil plans

Complies with Ordinance: YES NO

Date: _____

8. **DRIVEWAY – CURB CUT**

Width of Curb Cut: 31.0'

Radius / Flare: 3' FLAIR

Apron Dimensions: 31' at road, 25' at property line

Culvert Size (End-walls Required) NA



Storm Water Utility Service Application

Dept. of Neighborhood Services
2990 S. Pine Tree Rd.
Hobart WI 54155
920-869-3809

A. Applicant

Applicant Name: Jared Schmidt Owner Name: Michelle Stimpson
 Address: 1250 Centennial Centre Blvd Address: 1256 Centennial Centre Blvd
 City: Hobart State: WI Zip: 54155 City: Hobart State: WI Zip: 54155
 Phone: (920) 662-9641 Phone: (920) 609-5577
 Email: jschmidt@releeinc.com Email: mstimpson@lexingtonneighborhoods.com

B. Parcel – Site Information

Site Address: 720 Centerline Drive. Parcel ID: HB-523-6
 Project Description: Evora Multifamily Development

Residential ERU Calculations

Use	<input type="checkbox"/> Single Family	<input type="checkbox"/> Duplex	<input checked="" type="checkbox"/> Multi-family
Number of Dwellings			120
ERU's / Dwelling	1 ERU	0.75 ERU	0.6 ERU
Total ERU's			72

Nonresidential Uses - Impervious Surface Calculation

	Existing		Change (+/-)		= New Total Area	
		sq. ft.		sq. ft.		sq. ft.
Building/Structure Foot Prints		sq. ft.		sq. ft.		sq. ft.
Paved/Gravel Areas		sq. ft.		sq. ft.		sq. ft.
Totals		sq. ft.		sq. ft.		sq. ft.

ERU Calculation: _____ / 4000 sf / ERU = **ERU's**
 New Total Area sq. ft.

Preparer's Signature: _____ Date: _____

June 3, 2024

Mr. Gerbers
VILLAGE OF HOBART
2990 South Pine Tree Road
Hobart, WI 54155

RE: Evora Multi-Family Site Plan Application

Dear Mr. Gerbers:

On behalf of Lexington Homes, Inc, Robert E. Lee & Associates, Inc. is submitting the attached Site Plan Permit application and associated documentation for the proposed Evora Multi-Family development at 720 Centerline Drive in the Village of Hobart. The proposed project includes the construction of two 60-unit multi-family structures (15,966 square-foot each), 6 separate garage buildings (varying between 13, 15, and 18 stalls), paved parking lots, and driveways.

Please do not hesitate to contact me regarding any questions.

Sincerely,

ROBERT E. LEE & ASSOCIATES, INC.



Michael R. Leidig, E.I.T.
Project Engineer

MRL

ENC.

Centennial Centre at Hobart

Site Plan Review Checklist

Project: Evora Multifamily

PDD ORDINANCE, SITE PLAN REQUIREMENT	LOCATION, PLAN SHEET(P/S) or MAP	PRESENT AND SATISFIES REQUIREMENT?	COMMENTS
a. Name of project/development;	REL Sheet 1	Y	
b. Location of project/development by street address, or CSM	REL Sheet 2	Y	
c. Name and mailing address of developer/owner;	REL Sheet 1	Y	
d. Name and mailing address of engineer/architect;	REL Sheets 1	Y	
e. A written statement describing how the development will be consistent with the land use and design guidelines as identified in the Centennial Centre Master Plan.			
f. A written statement from the Owner acknowledging the Village's Restrictive Covenants for the District set forth on Appendix A and agreeing:			
i. to subject the real estate that is subject to the Site to the Restrictive Covenants if said property has not been previously subjected to the Restricted Covenants; and			
ii. to be individually bound by the terms of the Restrictive Covenants, including the waiver of sovereign immunity set forth therein.			
g. North point indicator;	REL Sheet 2-6	Y	
h. Scale;	REL Sheet 2-6	Y	

Centennial Centre at Hobart

Site Plan Review Checklist

Project: Evora Multifamily

PDD ORDINANCE, SITE PLAN REQUIREMENT	LOCATION, PLAN SHEET(PS) or MAP	PRESENT AND SATISFIES REQUIREMENT?	COMMENTS
i. Boundary lines of property, with dimensions;	REL Sheet 2-6	Y	
j. Location identification, and dimensions of existing and proposed:			
i. Topographic contours at a minimum interval of two feet, and key spot elevations;	REL Sheets 2,4,5	Y	
ii. Adjacent streets and street right of ways, respective to the elevation of building first floor;	REL Sheet 4	Y	
iii. On site streets and street right of ways, and fire lanes;	REL Sheet 3	Y	
iv. Utilities and any easements including but not limited to the following types;	REL Sheets 3,4	Y	
v. All buildings and structures, existing & proposed to consider maximum development of the parcel if more than one structure could be located on the parcel;	REL Sheet 3-6	Y	
k. A statement of the total acreage of the property to be developed;	REL Sheet 3	Y	
l. Significant physical features within the tract, watercourses, ponds, lakes, rain gardens, and wetlands; and proposed major changes in those features;	REL Sheet 2-6	Y	
m. All contemplated land uses;	REL Sheet 2-6	Y	
n. An indicator of the contemplated intensity of use: i.e., gross density in residential development;	N/A	N/A	

Centennial Centre at Hobart

Site Plan Review Checklist

Project: Evora Multifamily

PDD ORDINANCE, SITE PLAN REQUIREMENT	LOCATION, PLAN SHEET(PS) or MAP	PRESENT AND SATISFIES REQUIREMENT?	COMMENTS
o. Existing buildings that will be removed and the proposed location of all principal structures and associated parking areas;	N/A	N/A	
p. Proposed circulation systems (pedestrian, bicycle, auto) by type, their connection to the existing network outside the site;	REL Sheet 3	Y	
q. Existing rights-of-way and easements that may affect the project;	REL Sheets 2,3	Y	
r. The location of sanitary and storm sewer lines and water mains;	REL Sheets 2,4	Y	
s. The location of recreational and open space areas;	REL Sheet 3	Y	
t. Description of proposed system for drainage and a storm water plan showing existing and final grades.	REL Sheet 4,5	Y	Drains to regional pond
i. Parking facilities;	REL Sheet 3	Y	
ii. Water bodies and wetlands;	REL Sheet 2,3	Y	
iii. Surface water holding ponds , drainage ditches, and drainage patterns, location and size of culverts and any drainage sewers servicing the site	REL Sheets 4,5	Y	
u. Sidewalks, walkways, and driveways;	REL Sheet 3	Y	
v. Off street loading areas and docks;	REL Sheet 3	Y	
w. Fences and retaining walls;	REL Sheet 3	Y	
x. All signs;	REL Sheet 3	Y	

Centennial Centre at Hobart

Site Plan Review Checklist

Project: Evora Multifamily

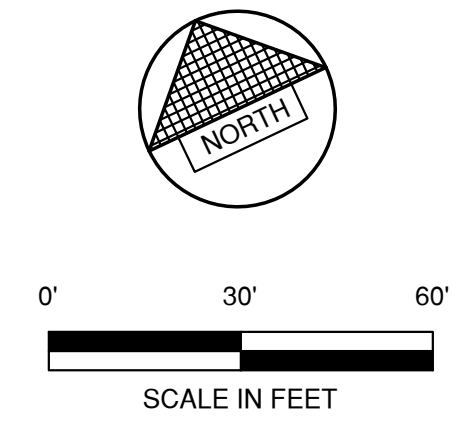
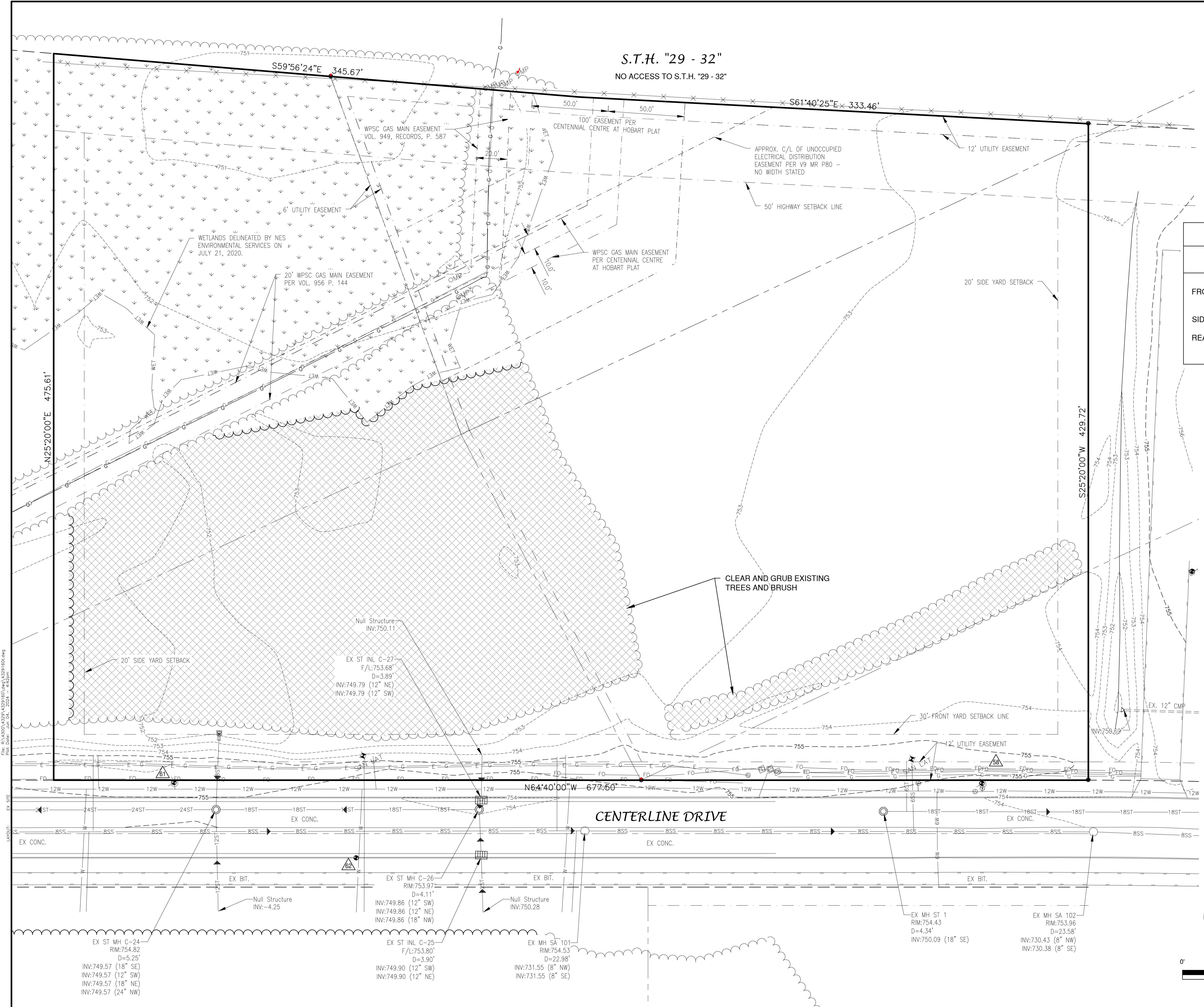
PDD ORDINANCE, SITE PLAN REQUIREMENT	LOCATION, PLAN SHEET(PS) or MAP	PRESENT AND SATISFIES REQUIREMENT?	COMMENTS
y. Exterior refuse collection areas and the required enclosure(s);	REL Sheet 3,10	Y	
z. Exterior lighting;	REL Sheets 3,10	Y	
aa. Traffic flow on and off site.	REL Sheet 3	Y	
bb. Location of open space/green space;	REL Sheet 3	Y	
cc. Site statistics, including:			
i. Sq. Footage	REL Sheet 3	Y	
ii. Percent site coverage;	REL Sheet 3	Y	
iii. Percent open space; and green space	REL Sheet 3	Y	
iv. Floor area ratio (FAR)	REL Sheet 3	Y	
dd. Location and dimensions of proposed outdoor display areas;	N/A	N/A	
ee. Architectural rendering of the proposed structures and buildings, including:	G2-G4 and A1.1-1.3		
i. All dimensions;	G2-G4 and A1.1-1.3		
ii. Gross square footage of existing and proposed buildings and structures; and	REL Sheet 3	Y	
iii. Description of all exterior finish materials.	G2-G4 and A1.1-1.3	Y	
ff. Erosion control plans;	REL Sheets 6	Y	
gg. Landscaping plan	TBD		

S.T.H. "29 - 32"
NO ACCESS TO S.T.H. "29 - 32"

BENCHMARK		BENCHMARK ESTABLISHED BY: ROBERT E. LEE & ASSOCIATES, INC.
FIELD VERIFY BENCHMARKS FOR ACCURACY.		
NO.	DESCRIPTION	EL.
58	TAG BOLT ON HYDRANT	756.47
61	TAG BOLT 7-6 ON HYDRANT	757.30
62	CUT "T" TOP OF CURB	754.62

SETBACK REQUIREMENTS			
	PRINCIPAL STRUCTURE SETBACKS:	ACCESSORY BUILDING SETBACKS:	DRIVEWAY SETBACKS:
FRONT YARD	30 FEET MINIMUM FROM RIGHT OF WAY FOR AN URBAN ROAD SECTION	30 FEET MINIMUM FROM RIGHT OF WAY FOR AN URBAN ROAD SECTION	10 FEET FROM PROPERTY LINE
SIDE YARD	20 FEET	10 FEET	10 FEET FROM PROPERTY LINE
REAR YARD	25 FEET	10 FEET	10 FEET FROM PROPERTY LINE

LEGEND
 CLEAR AND GRUB AREA



NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION

EVORA - A MULTI-FAMILY DEVELOPMENT FOR LEXINGTON HOMES, INC.
VILLAGE OF HOBART
BROWN COUNTY, WISCONSIN

EXISTING SITE CONDITIONS

DATE	05/20/24
FILE	4329160T
JOB NO.	4329160

REL Robert E. Lee & Associates, Inc.
1250 Centennial Centre Blvd | Hobart, WI | 920-662-9641 | releinc.com

SHEET NO.
2

S.T.H. "29 - 32"
NO ACCESS TO S.T.H. "29 - 32"

LEGEND

- CONCRETE PAVEMENT (1,870 S.F.)
- ASPHALT PAVEMENT (LIGHT) (62,366S.F.)
- LANDSCAPE AREA (3,193 S.F.)
- GREEN SPACE
- PROPOSED 18" STANDARD CURB AND GUTTER
- TRAFFIC FLOW ARROW
- HANDICAPPED PARKING
- SIGN
- INDICATES NUMBER OF PARKING STALLS
- WALL PACK

*NOTE: ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS NOTED OTHERWISE

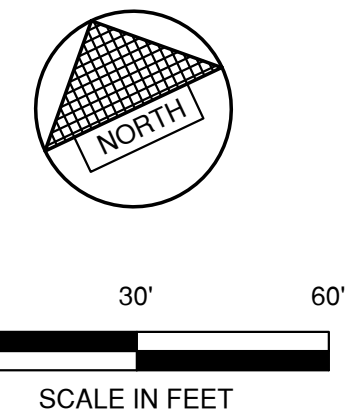
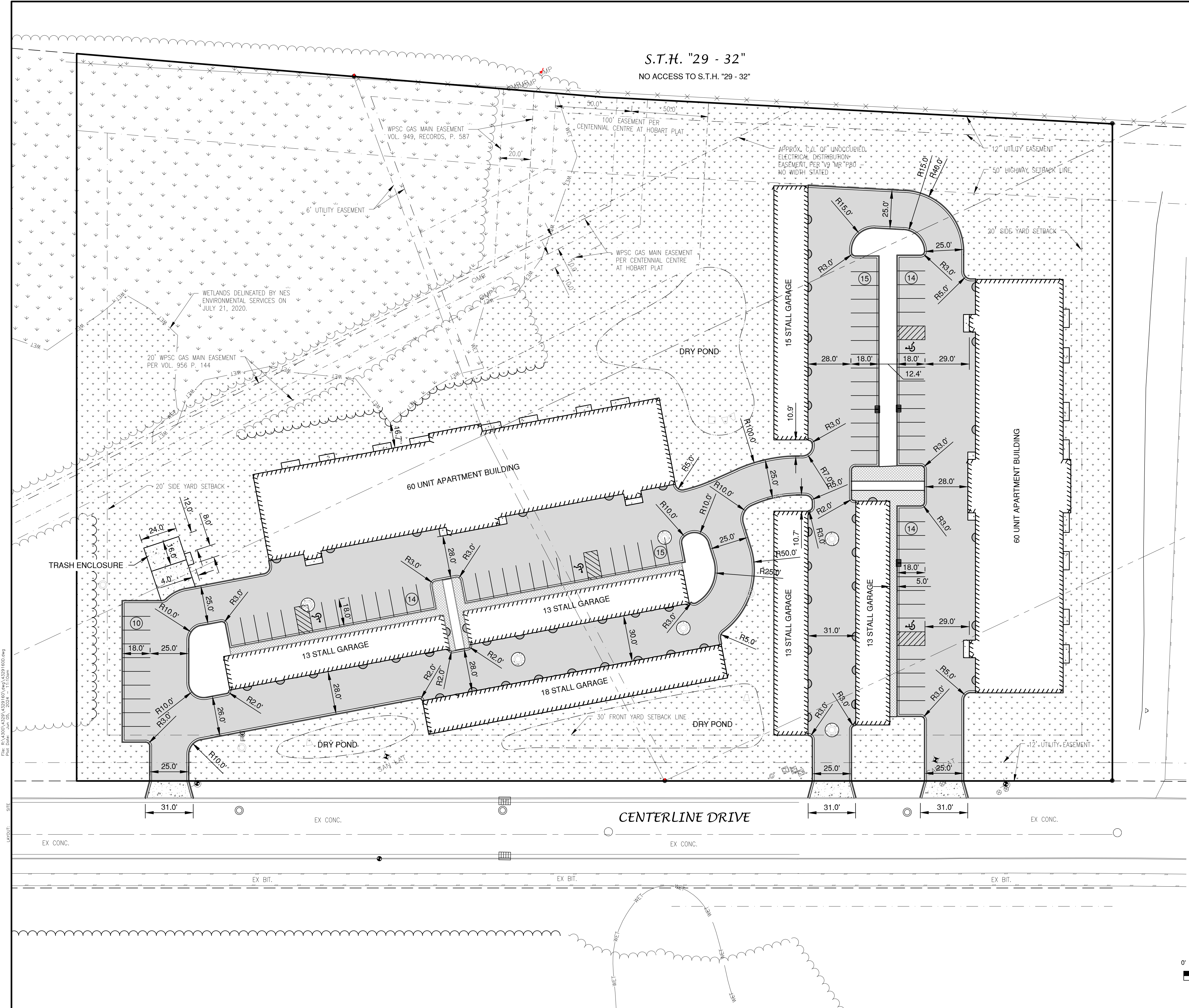
NOTE
ALL DISTURBED AREAS SHALL BE TOPSOILED TO A DEPTH OF 6 INCHES, SEEDED AND MULCHED. AREA TO BE RAKED FREE OF STONES AND CLUMPS.

PARKING DATA
44 COVERED STALLS ATTACHED
72 COVERED STALLS DETACHED
82 SURFACE STALLS (4 HANDICAPPED STALLS)
198 TOTAL STALLS

SITE DATA
TOTAL AREA = 7.00 ACRES, 304,937 S.F.
BUILDING AREA = 0.49 ACRES, 21,313 S.F. (7.0%)
SIDEWALK/PARKING LOT AREA = 2.40 ACRES, 104,582S.F. (34.3%)
GREEN SPACE = 4.11 ACRES, 179,042 S.F. (58.7%)

ZONING
PPD#1

PARCEL NO.
HB-523-6



NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION

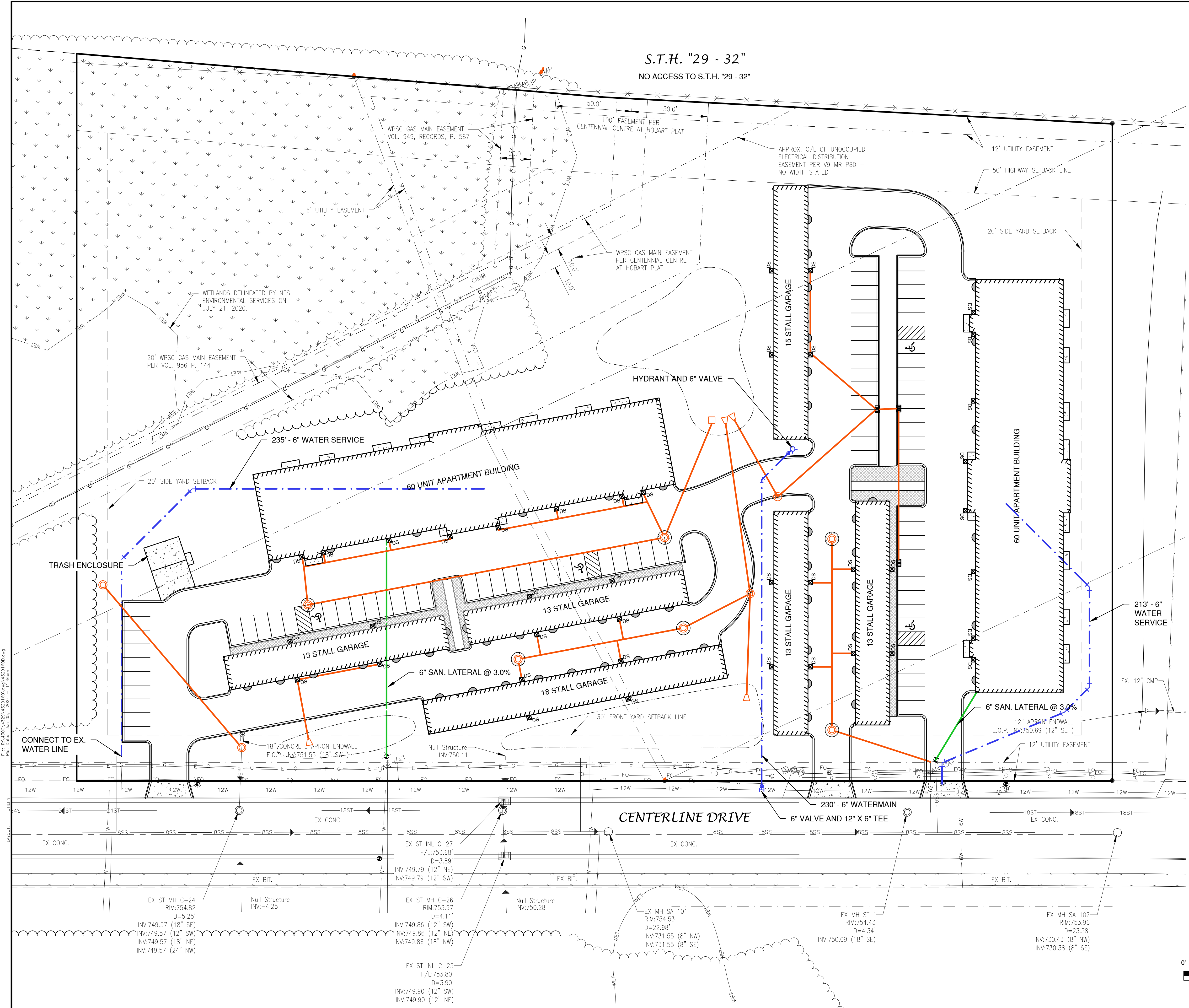
EVORA - A MULTI-FAMILY DEVELOPMENT
FOR LEXINGTON HOMES, INC.
VILLAGE OF HOBART
BROWN COUNTY, WISCONSIN

SITE PLAN

DATE	04/20/24
FILE	4329160D
JOB NO.	4329160

REL Robert E. Lee & Associates, Inc.
1250 Centennial Centre Blvd | Hobart, WI | 920-662-9641 | releinc.com

S.T.H. "29 - 32"
NO ACCESS TO S.T.H. "29 - 32"



LEGEND

- PROPOSED SANITARY SEWER
- EXISTING SANITARY SEWER (SIZE NOTED)
- PROPOSED STORM SEWER
- EXISTING STORM SEWER (SIZE NOTED)
- - - PROPOSED WATERMAIN
- EXISTING WATERMAIN (SIZE NOTED)

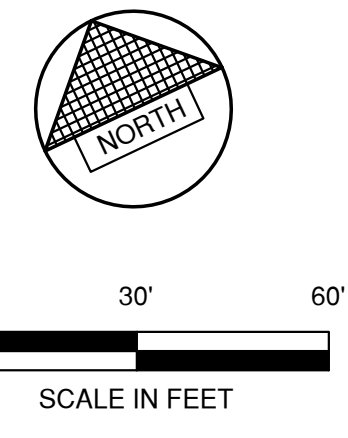
PROPOSED (circles with blue outlines)

EXISTING (circles with black outlines)

- FIRE HYDRANT
- WATER VALVE
- CURB STOP
- WATER MANHOLE
- REDUCER/INCREASER
- SANITARY MANHOLE
- LIFT STATION
- TRACER WIRE SIGNAL CONNECTION BOX
- CLEANOUT
- STORM MANHOLE
- STORM INLET (NOT IN CURB AND GUTTER)
- STORM INLET (IN CURB AND GUTTER)
- STORM INLET MANHOLE
- YARD DRAIN
- STANDPIPE
- ROOF DOWNSPOUT
- DISCHARGE STRUCTURE

PLUMBING DATA
DRAINAGE FIXTURE UNITS =
WATER FIXTURE UNITS =

- NOTE**
- A MINIMUM OF 6.5 FEET OF COVER SHALL BE MAINTAINED OVER ALL WATERMAIN.
 - SANITARY SEWER, WATERMAIN AND STORM SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN AND ADMINISTRATIVE CODE CHAPTERS SPS 381-387.
 - FIELD VERIFY LOCATION OF EXISTING UTILITIES. IF EXISTING LOCATIONS DIFFER FROM WHAT IS INDICATED ON THE PLANS, CONTACT ENGINEER, PRIOR TO CONTINUED WORK.
 - ALL SANITARY SEWER, STORM SEWER AND WATER SERVICES / MAINS SHALL BE PROVIDED WITH TRACER WIRE OR OTHER METHOD TO BE LOCATED.
 - EXISTING GAS, ELECTRIC, CABLE TELEVISION AND TELEPHONE TO BE REMOVED AND/OR RELOCATED BY OTHERS. WORK SHALL BE COORDINATED BY GENERAL CONTRACTOR.



NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION

EVORA - A MULTI-FAMILY DEVELOPMENT
FOR LEXINGTON HOMES, INC.
VILLAGE OF HOBART
BROWN COUNTY, WISCONSIN

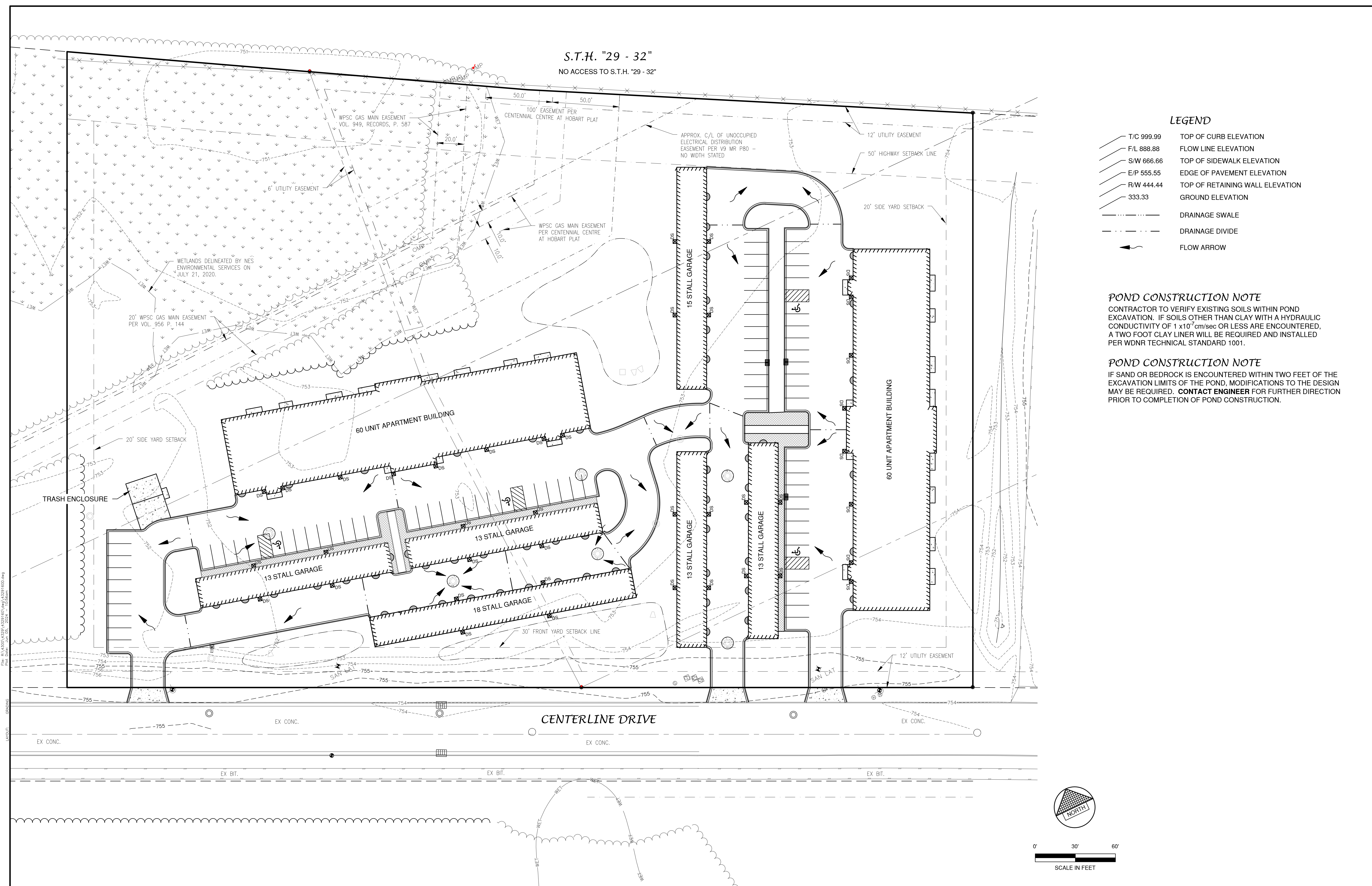
UTILITY PLAN

DATE
04/2024
FILE
4329160D
JOB NO.
4329160

REL Robert E. Lee & Associates, Inc.
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SHEET NO.
4

S.T.H. "29 - 32"
NO ACCESS TO S.T.H. "29 - 32"



LEGEND

— T/C 999.99	TOP OF CURB ELEVATION
— F/L 888.88	FLOW LINE ELEVATION
— S/W 666.66	TOP OF SIDEWALK ELEVATION
— E/P 555.55	EDGE OF PAVEMENT ELEVATION
— R/W 444.44	TOP OF RETAINING WALL ELEVATION
— 333.33	GROUND ELEVATION
—	DRAINAGE SWALE
—	DRAINAGE DIVIDE
—	FLOW ARROW

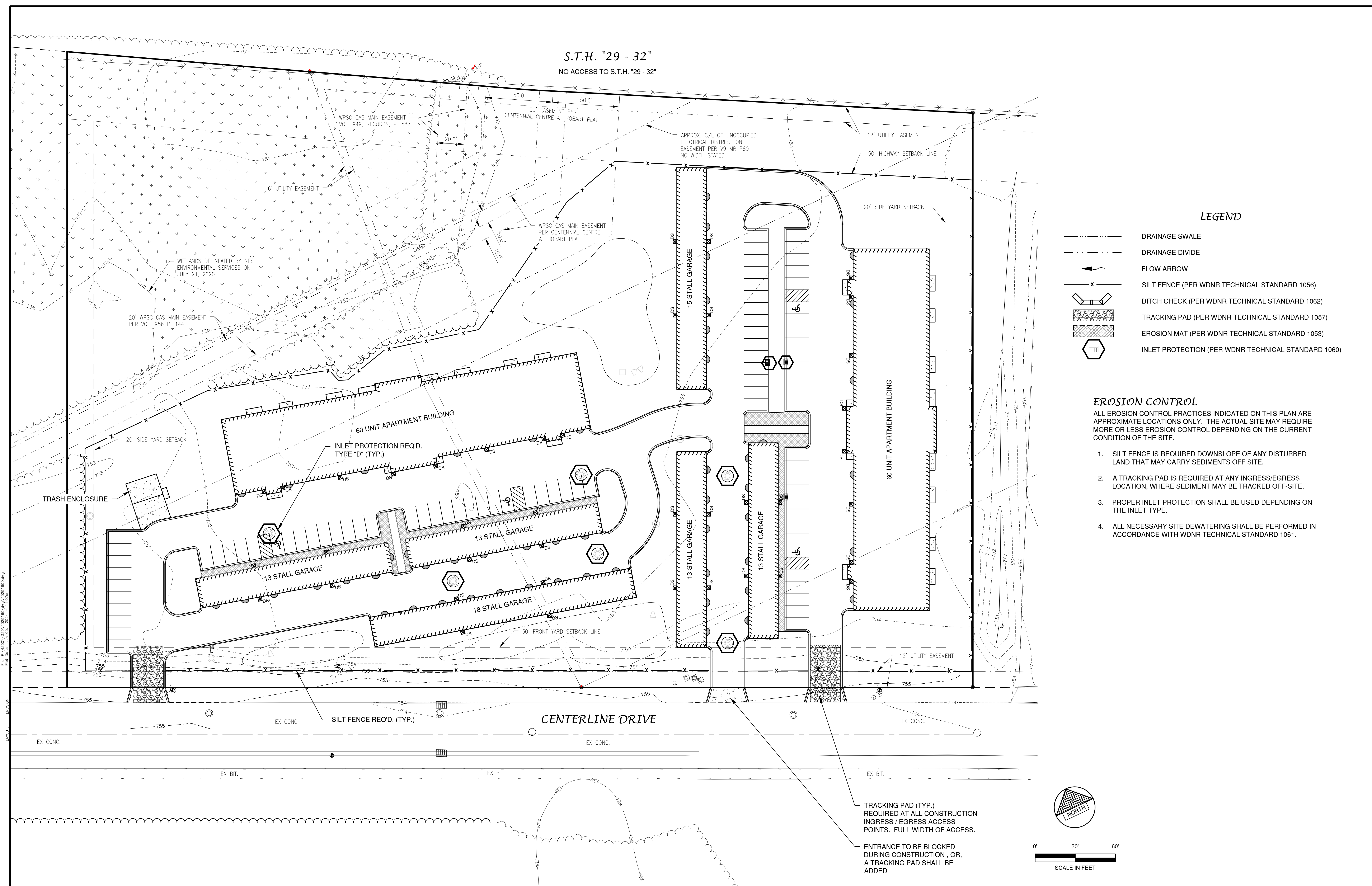
POND CONSTRUCTION NOTE
CONTRACTOR TO VERIFY EXISTING SOILS WITHIN POND EXCAVATION. IF SOILS OTHER THAN CLAY WITH A HYDRAULIC CONDUCTIVITY OF 1×10^{-7} cm/sec OR LESS ARE ENCOUNTERED, A TWO FOOT CLAY LINER WILL BE REQUIRED AND INSTALLED PER WDNR TECHNICAL STANDARD 1001.

POND CONSTRUCTION NOTE
IF SAND OR BEDROCK IS ENCOUNTERED WITHIN TWO FEET OF THE EXCAVATION LIMITS OF THE POND, MODIFICATIONS TO THE DESIGN MAY BE REQUIRED. **CONTACT ENGINEER** FOR FURTHER DIRECTION PRIOR TO COMPLETION OF POND CONSTRUCTION.

File: P:\A\2024\1234\1234.dwg
 Plot Date: Jan 25, 2024 10:25:00 AM
 User: JLS
 Scale: 1/8"=1'-0"
 Plot Size: 11x17
 Plot Style: Monochrome.ctb
 Plot Device: HP DesignJet 500

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN LLP	EVORA - A MULTI-FAMILY DEVELOPMENT FOR LEXINGTON HOMES, INC. VILLAGE OF HOBART BROWN COUNTY, WISCONSIN	GRADING PLAN	DATE 04/2024	1250 Centennial Centre Blvd Hobart, WI 920-662-9641 releinc.com	SHEET NO. 5
								CHECKED			FILE 4329160D		
								DESIGNED JGS			JOB NO. 4329160		

S.T.H. "29 - 32"
NO ACCESS TO S.T.H. "29 - 32"



LEGEND

- DRAINAGE SWALE
- DRAINAGE DIVIDE
- FLOW ARROW
- SILT FENCE (PER WDNR TECHNICAL STANDARD 1056)
- DITCH CHECK (PER WDNR TECHNICAL STANDARD 1062)
- TRACKING PAD (PER WDNR TECHNICAL STANDARD 1057)
- EROSION MAT (PER WDNR TECHNICAL STANDARD 1053)
- INLET PROTECTION (PER WDNR TECHNICAL STANDARD 1060)

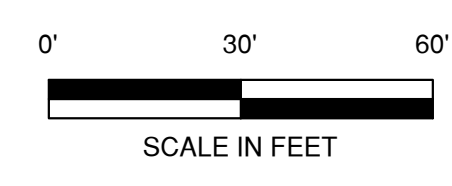
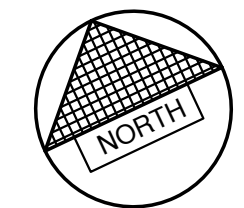
EROSION CONTROL

ALL EROSION CONTROL PRACTICES INDICATED ON THIS PLAN ARE APPROXIMATE LOCATIONS ONLY. THE ACTUAL SITE MAY REQUIRE MORE OR LESS EROSION CONTROL DEPENDING ON THE CURRENT CONDITION OF THE SITE.

1. SILT FENCE IS REQUIRED DOWNSLOPE OF ANY DISTURBED LAND THAT MAY CARRY SEDIMENTS OFF SITE.
2. A TRACKING PAD IS REQUIRED AT ANY INGRESS/EGRESS LOCATION, WHERE SEDIMENT MAY BE TRACKED OFF-SITE.
3. PROPER INLET PROTECTION SHALL BE USED DEPENDING ON THE INLET TYPE.
4. ALL NECESSARY SITE DEWATERING SHALL BE PERFORMED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1061.

TRACKING PAD (TYP.) REQUIRED AT ALL CONSTRUCTION INGRESS / EGRESS ACCESS POINTS. FULL WIDTH OF ACCESS.

ENTRANCE TO BE BLOCKED DURING CONSTRUCTION, OR, A TRACKING PAD SHALL BE ADDED



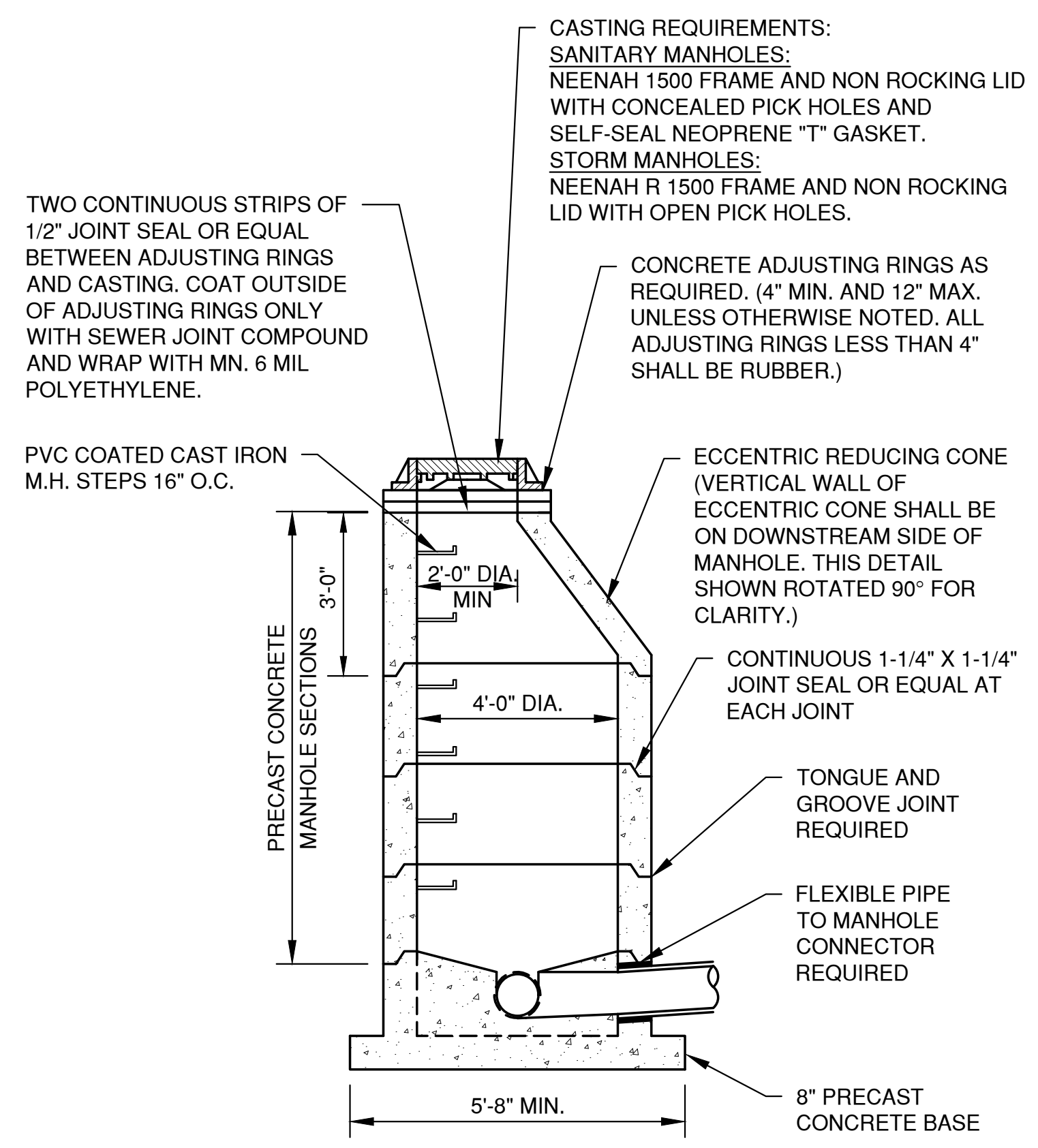
NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION

EVORA - A MULTI-FAMILY DEVELOPMENT FOR LEXINGTON HOMES, INC. VILLAGE OF HOBART BROWN COUNTY, WISCONSIN

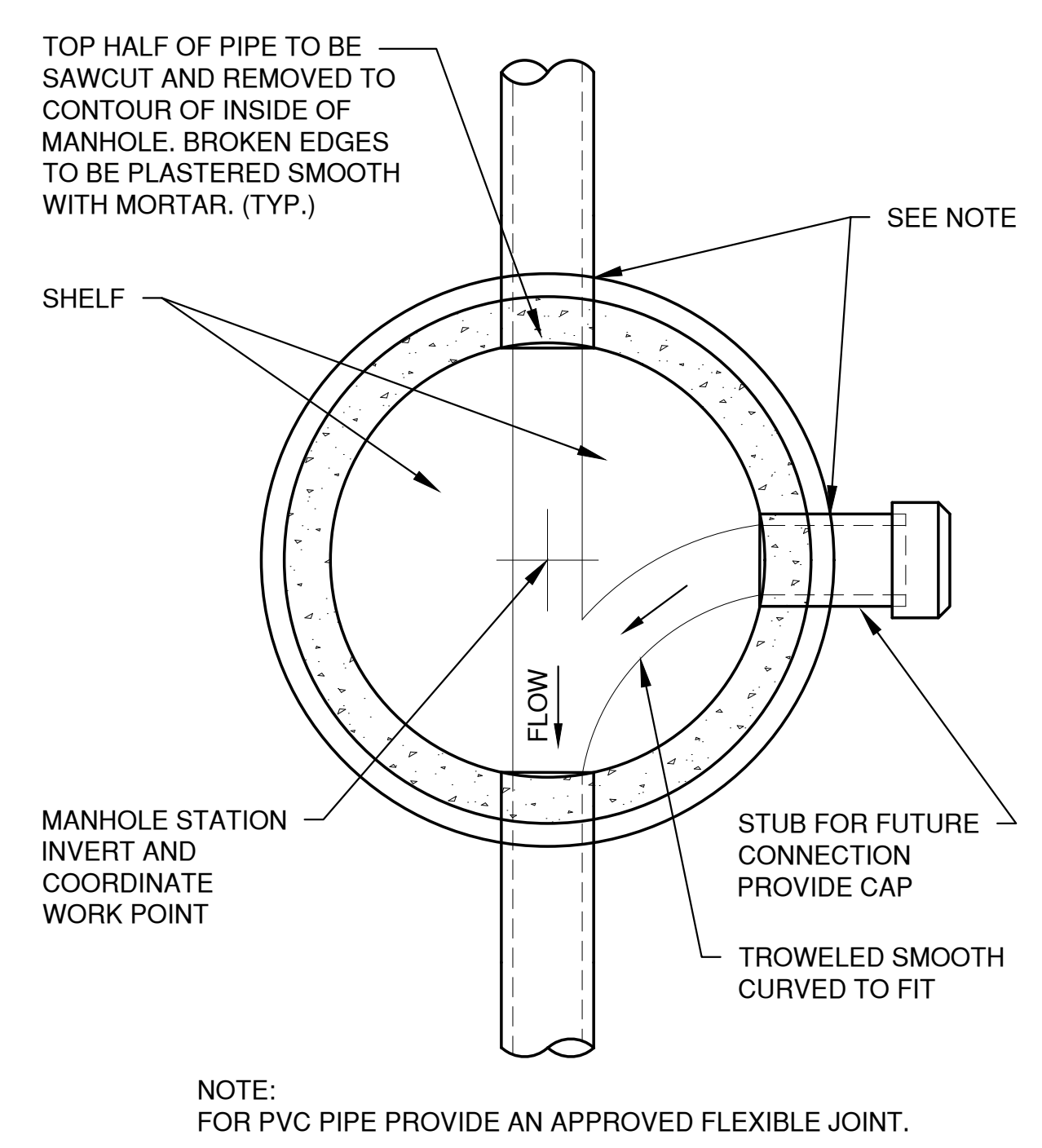
EROSION CONTROL PLAN

DATE	04/2024
FILE	43291600
JOB NO.	4329160

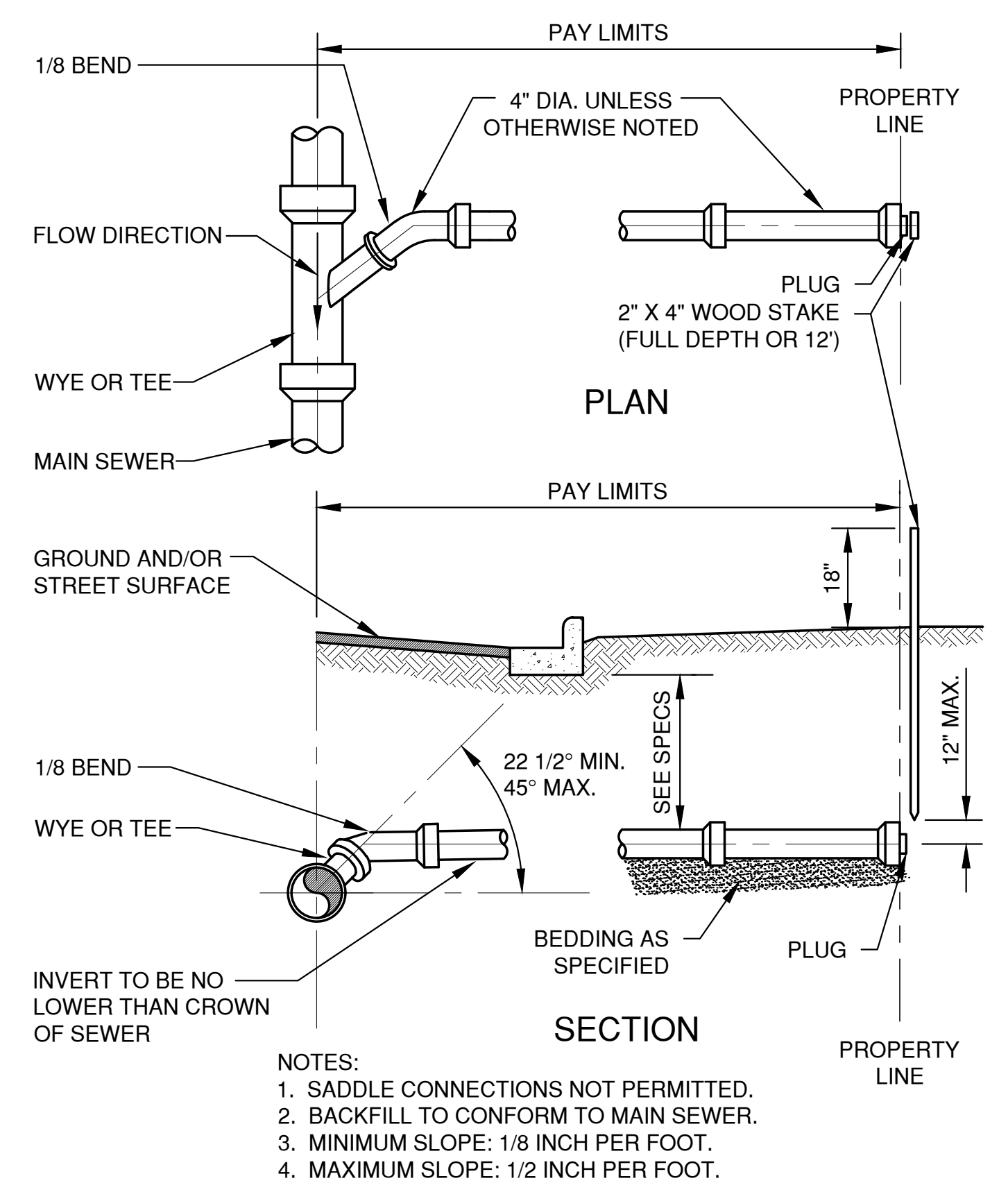
REL Robert E. Lee & Associates, Inc.
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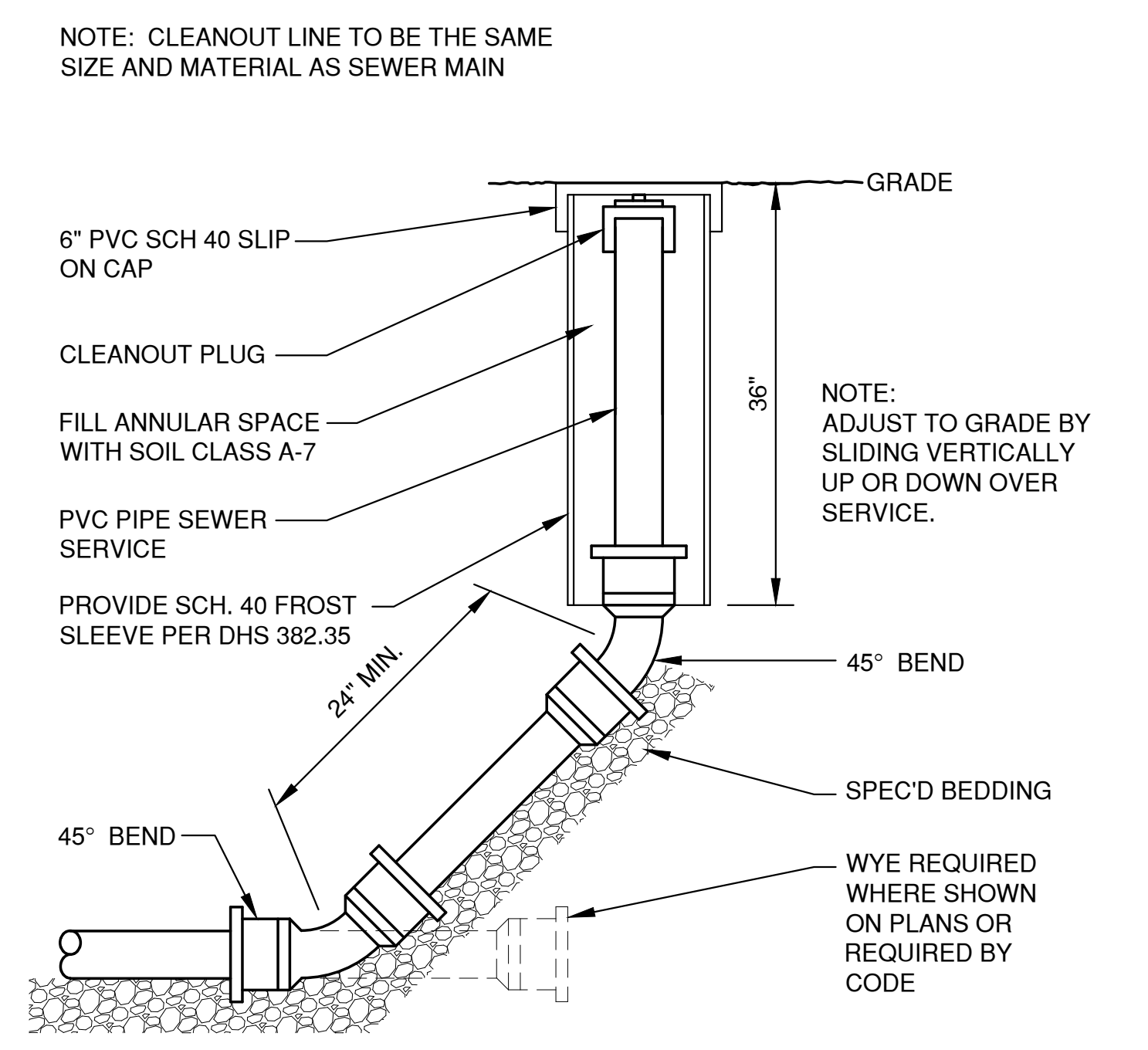
SANITARY AND STORM STANDARD MANHOLE 8" - 24" (INCLUSIVE)



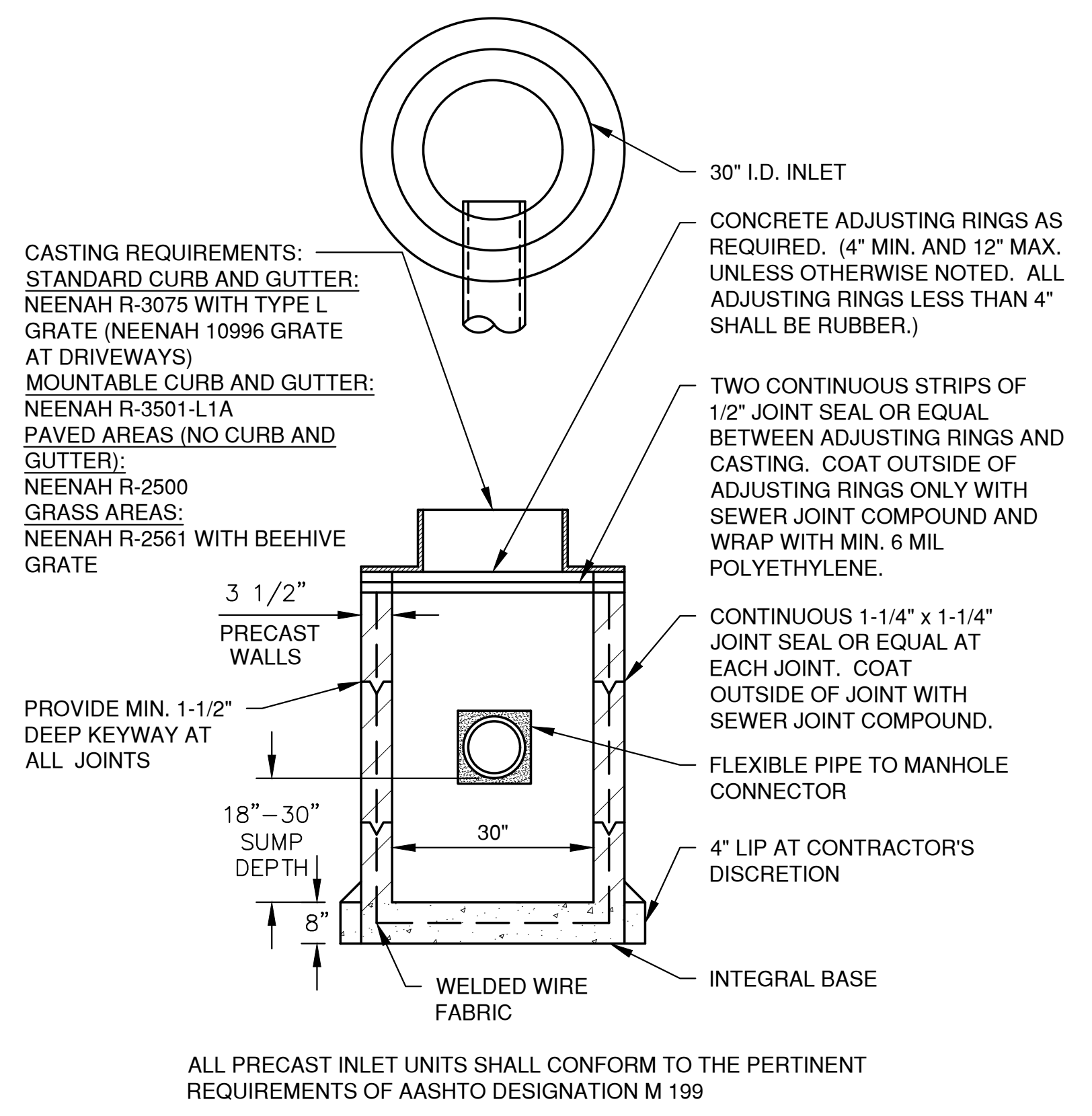
MANHOLE BASE PLAN 8" - 60" (INCLUSIVE)



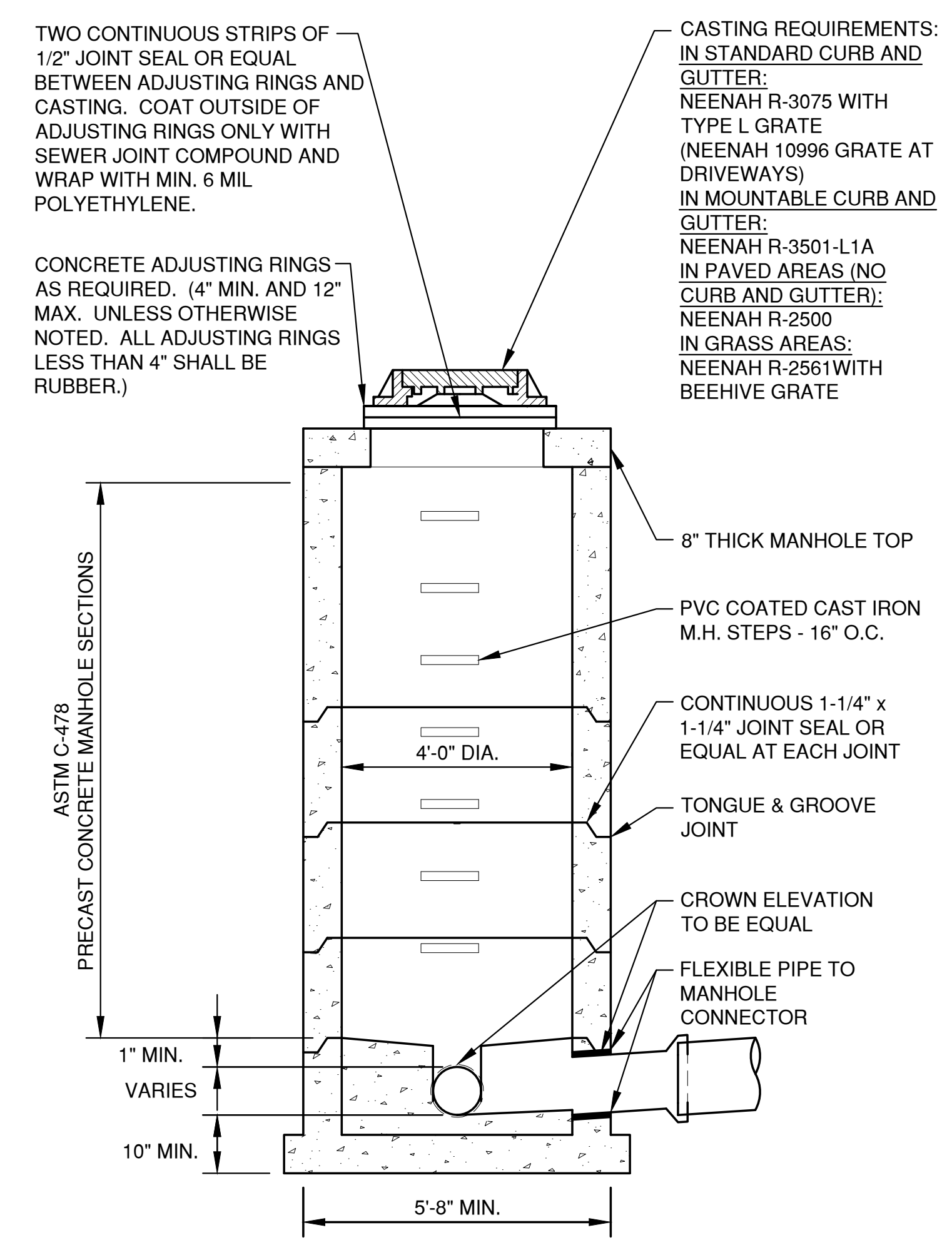
STANDARD SERVICE LATERAL



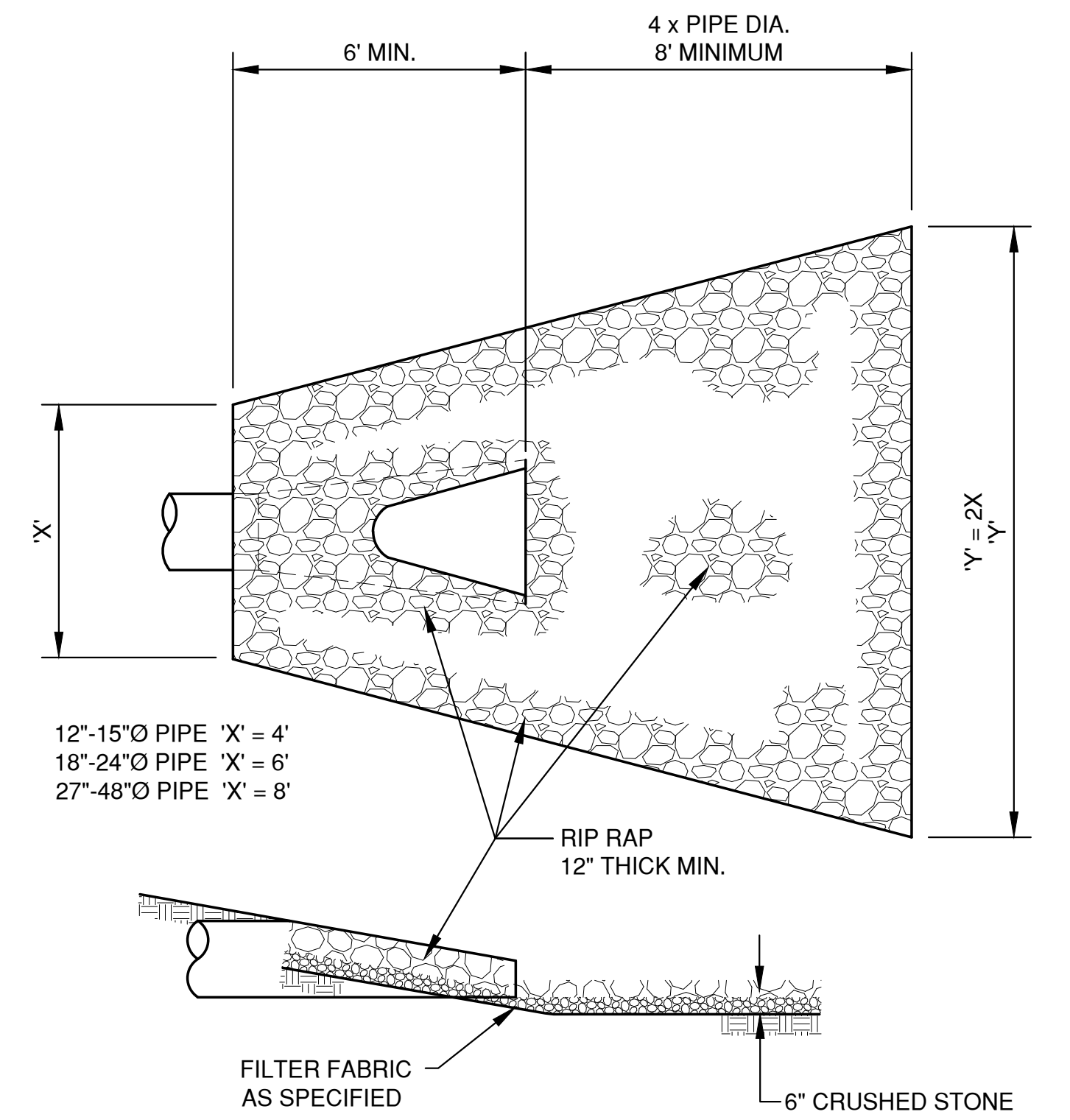
CLEAN-OUT DETAIL (NON-TRAVELED AREAS)



TYPE 'A' STORM INLET



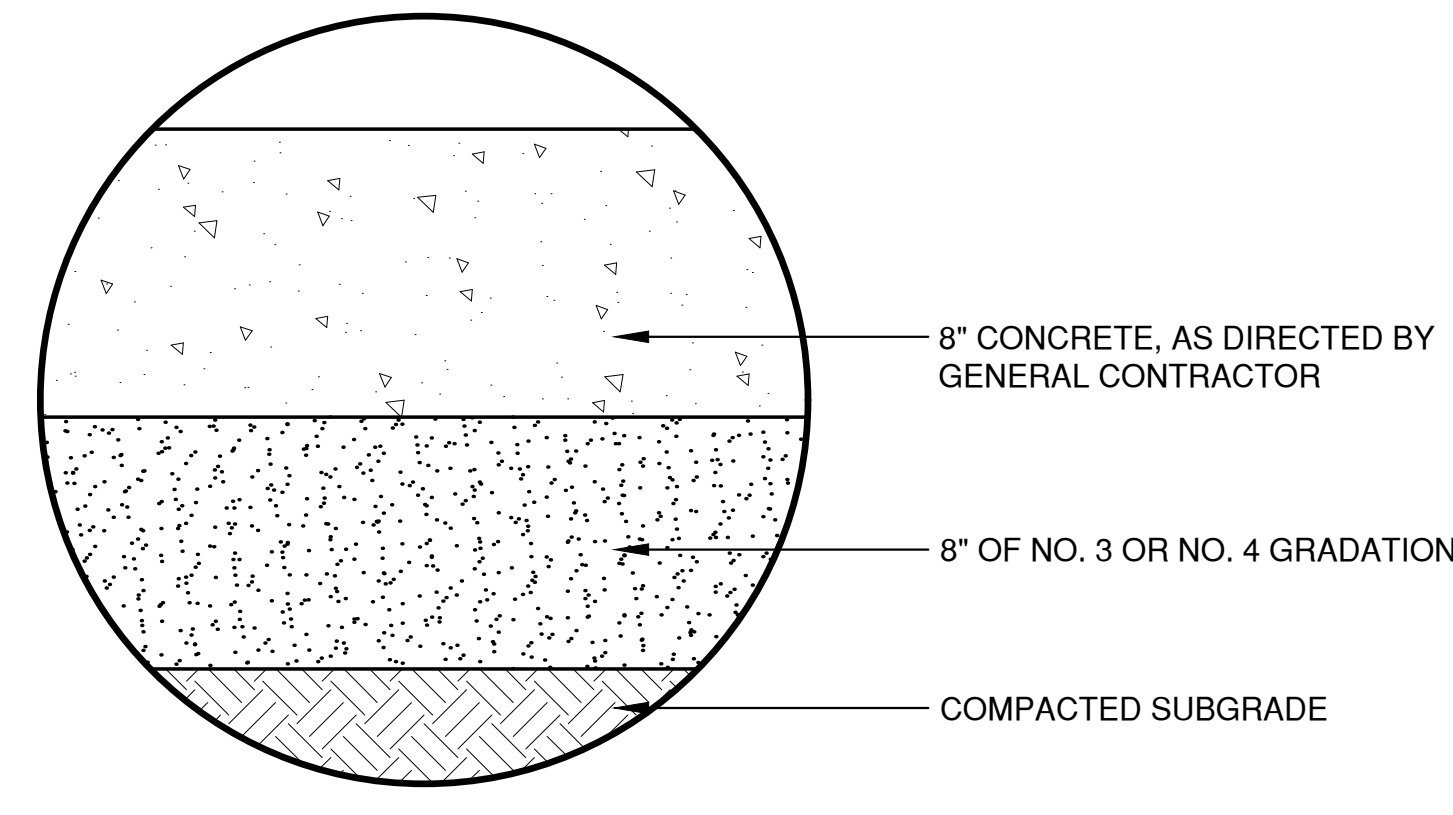
STORM INLET MANHOLE TYPE "B"



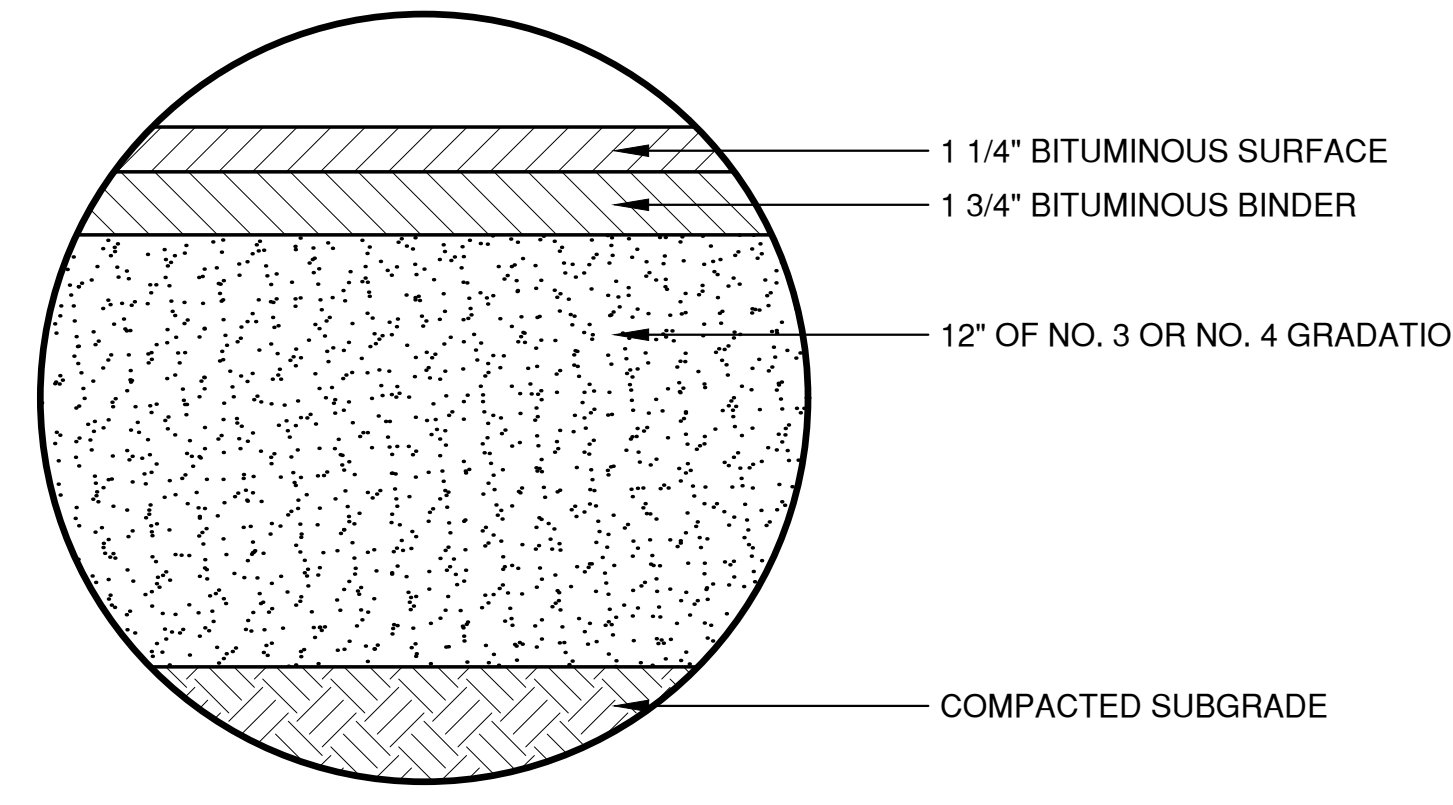
ENDWALL RIP RAP DETAIL

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 LAYOUT: DETAILS (1)

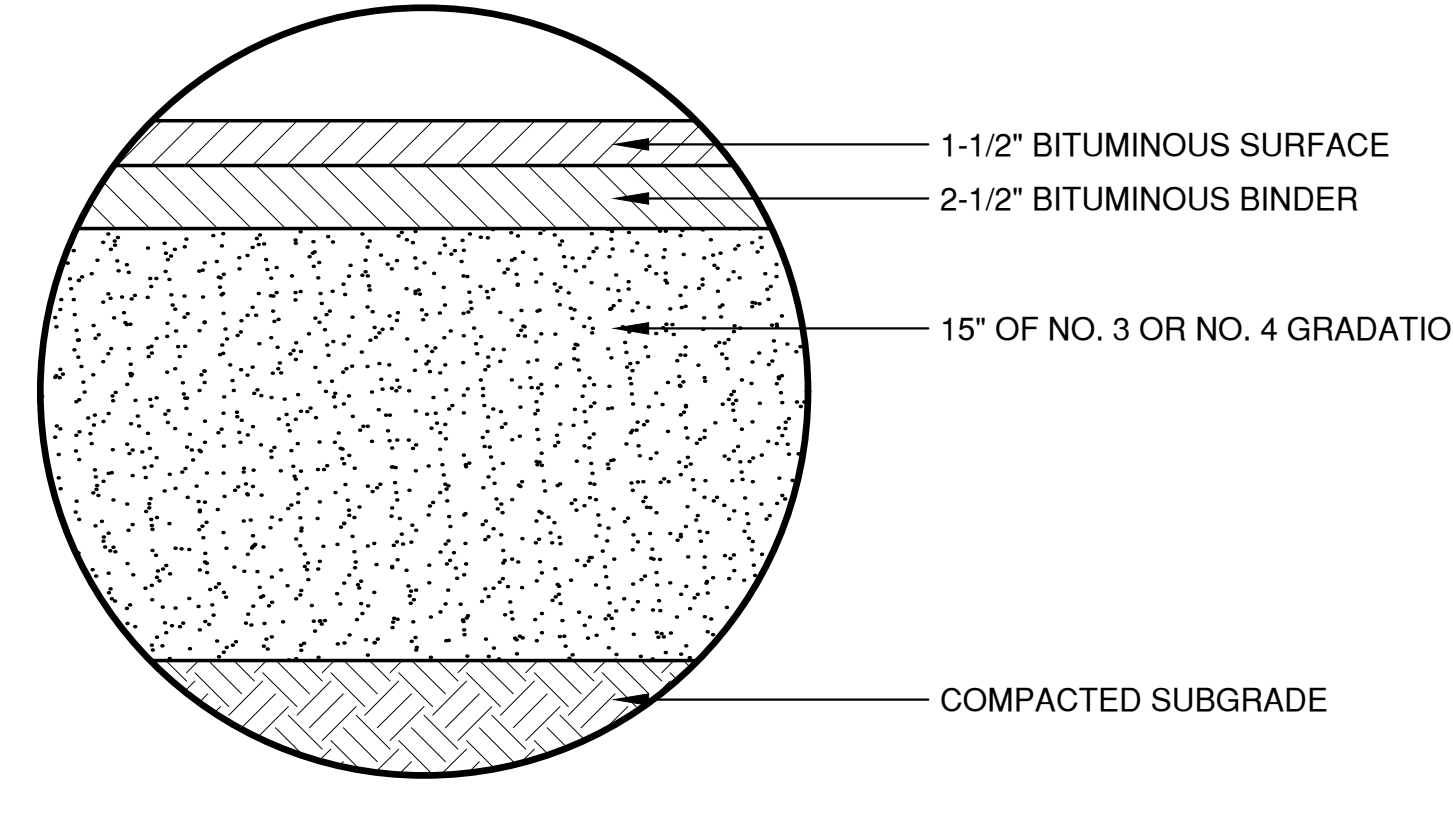
NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN	EVORA - A MULTI-FAMILY DEVELOPMENT FOR LEXINGTON HOMES, INC. VILLAGE OF HOBART BROWN COUNTY, WISCONSIN	MISCELLANEOUS DETAILS	DATE	1250 Centennial Centre Blvd Hobart, WI 920-662-9641 releinc.com	SHEET NO.
								CHECKED			04/2024		7
								DESIGNED			FILE		
								JGS			4329160 DET		
									JOB NO.				
									4329160				



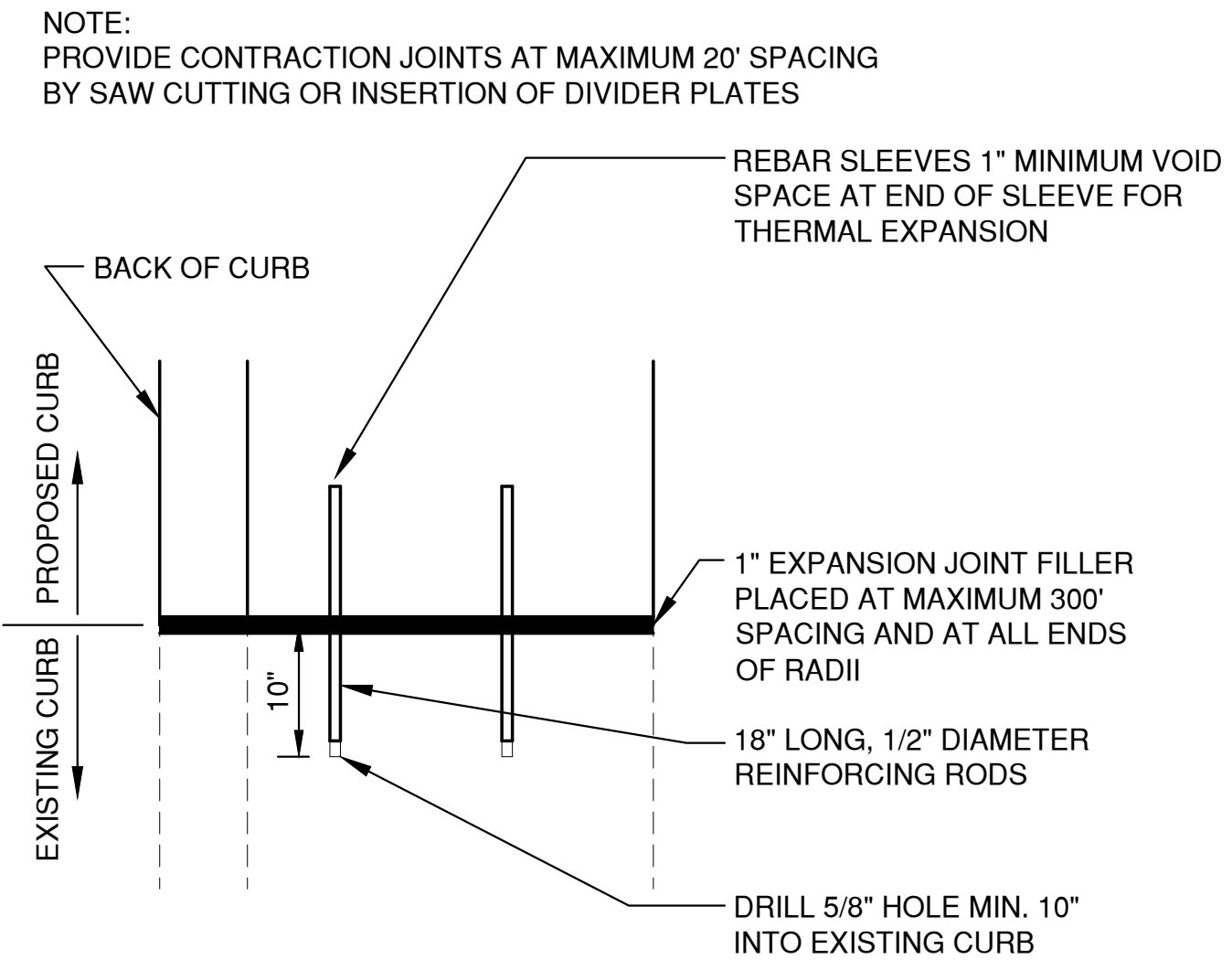
CONCRETE PAVEMENT



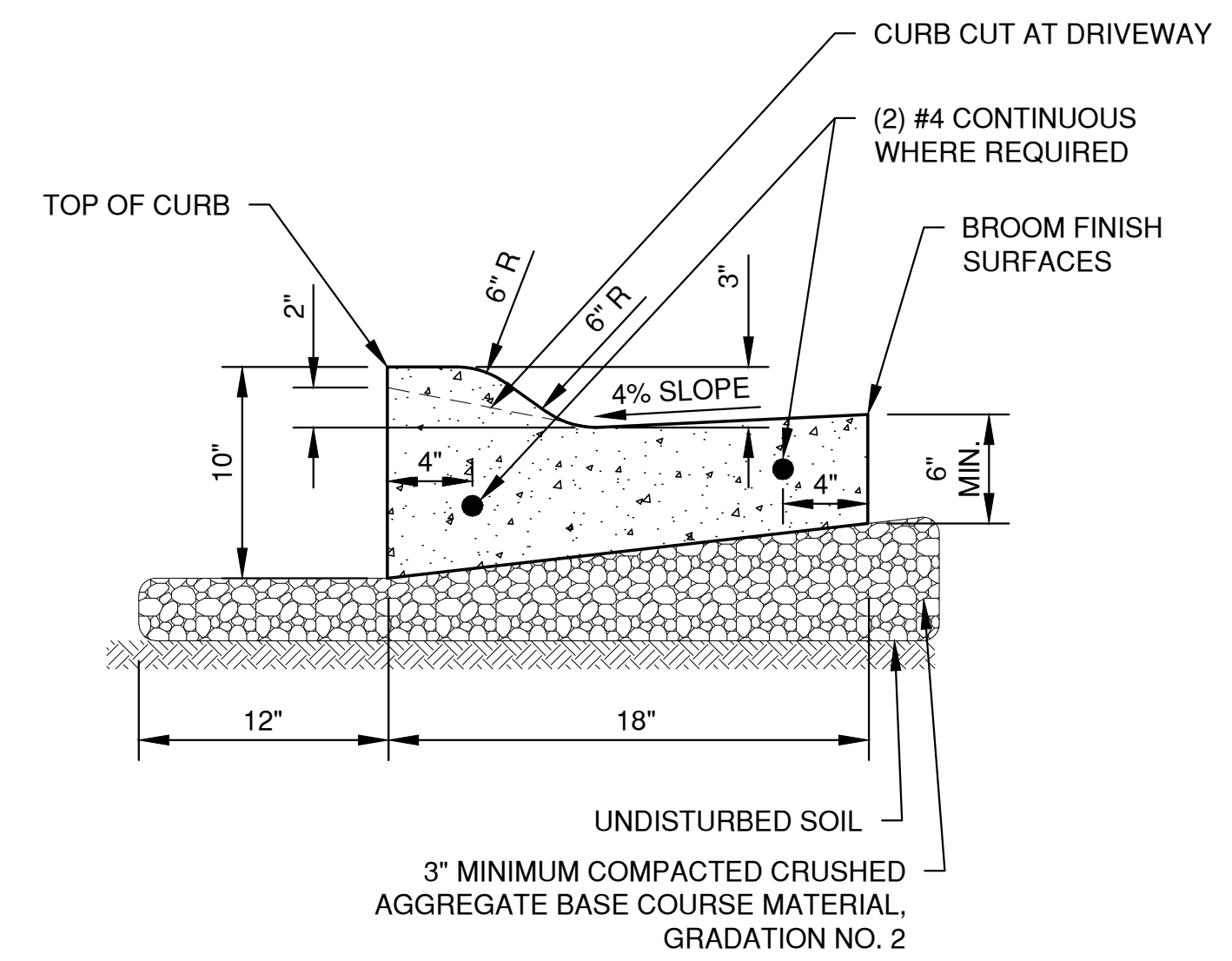
LIGHT DUTY ASPHALT PAVEMENT



HEAVY DUTY ASPHALT PAVEMENT

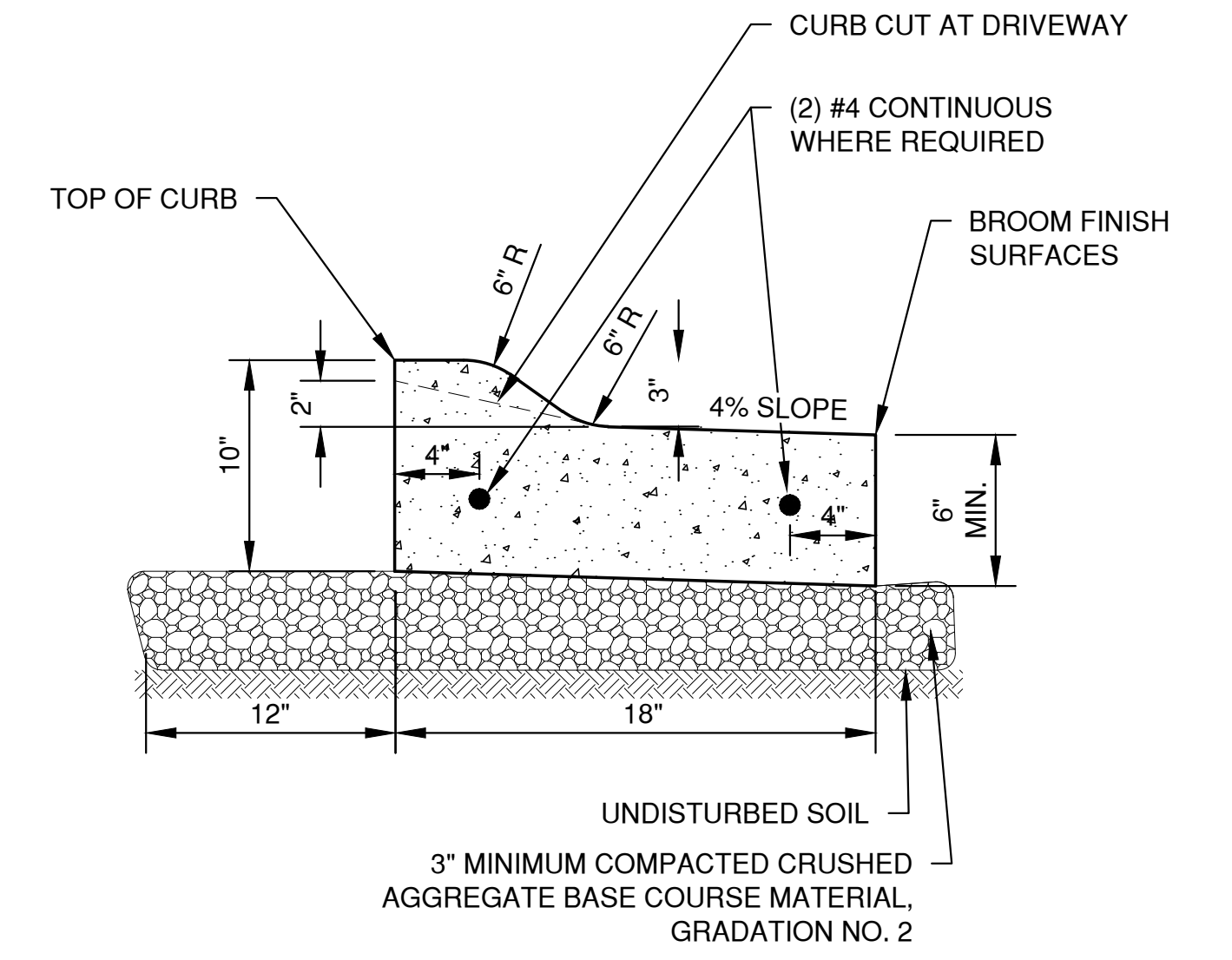


CURB TIE-IN DETAIL
(PROPOSED TO EXISTING)



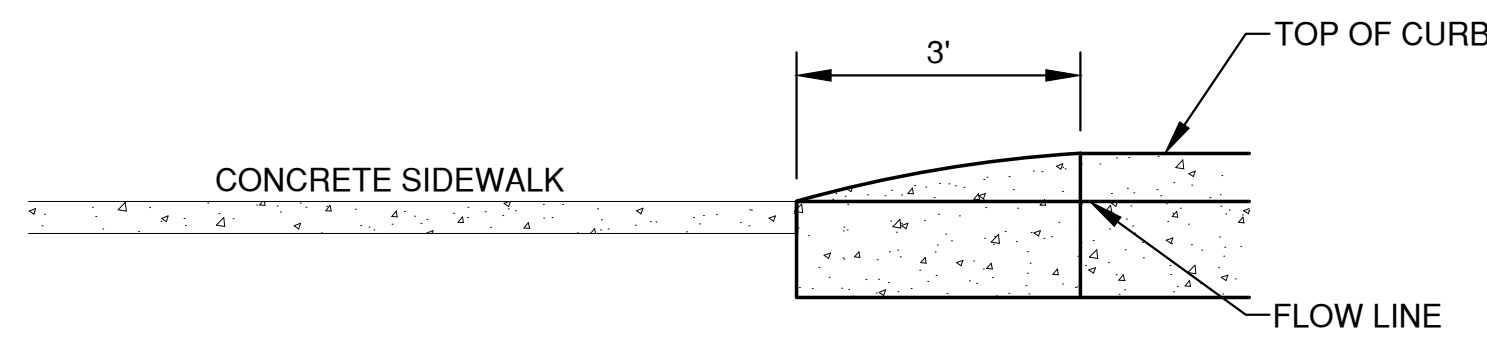
- NOTES:
1. PROVIDE 1" EXPANSION JOINTS AT 300' INTERVALS OR AS SPECIFIED. PROVIDE CONTRACTION JOINTS EVERY 30' OR AS DIRECTED.
 2. AT REMOVAL AND REPLACEMENT AREAS AND AT TIE-INS TO EXISTING CURB AND GUTTER, PROVIDE (2) #4 BARS, 18" LONG. DRILL AND GROUT INTO EXISTING CURB AND GUTTER 9". MATCH EXISTING SLOPE OF EXISTING GUTTER PAN.

MOUNTABLE CURB AND GUTTER

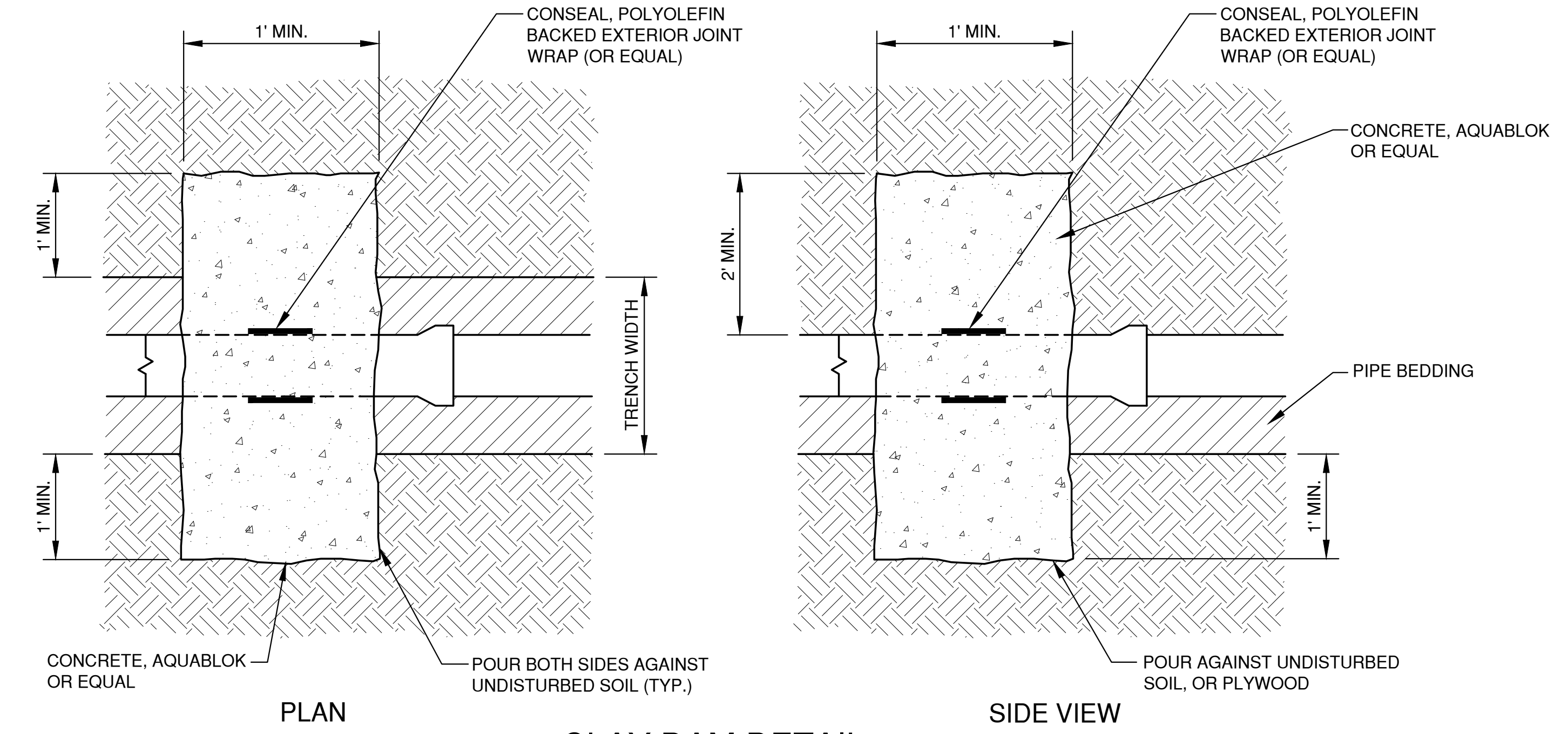


- NOTES:
1. PROVIDE 1" EXPANSION JOINTS AT 300' INTERVALS OR AS SPECIFIED. PROVIDE CONTRACTION JOINTS EVERY 30' OR AS DIRECTED.
 2. AT REMOVAL AND REPLACEMENT AREAS AND AT TIE-INS TO EXISTING CURB AND GUTTER, PROVIDE (2) #4 BARS, 18" LONG. DRILL AND GROUT INTO EXISTING CURB AND GUTTER 9". MATCH EXISTING SLOPE OF EXISTING GUTTER PAN.

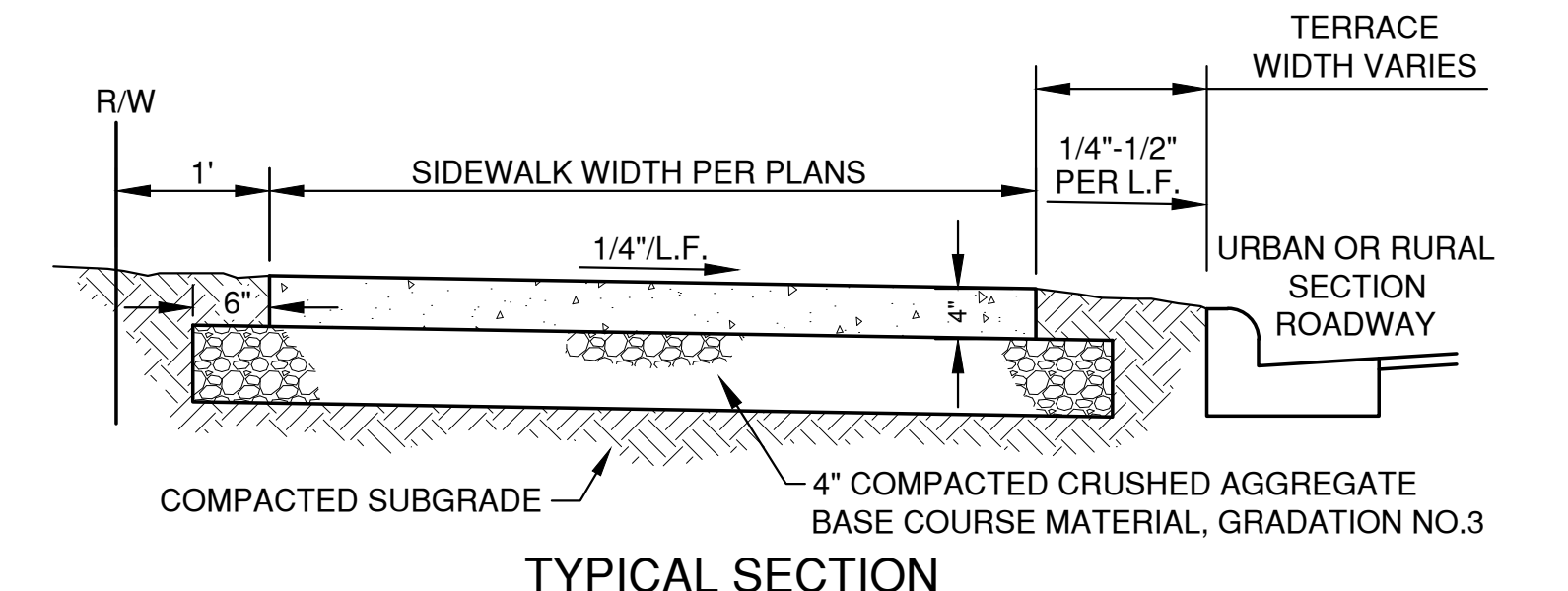
MOUNTABLE SHEDDING CURB AND GUTTER



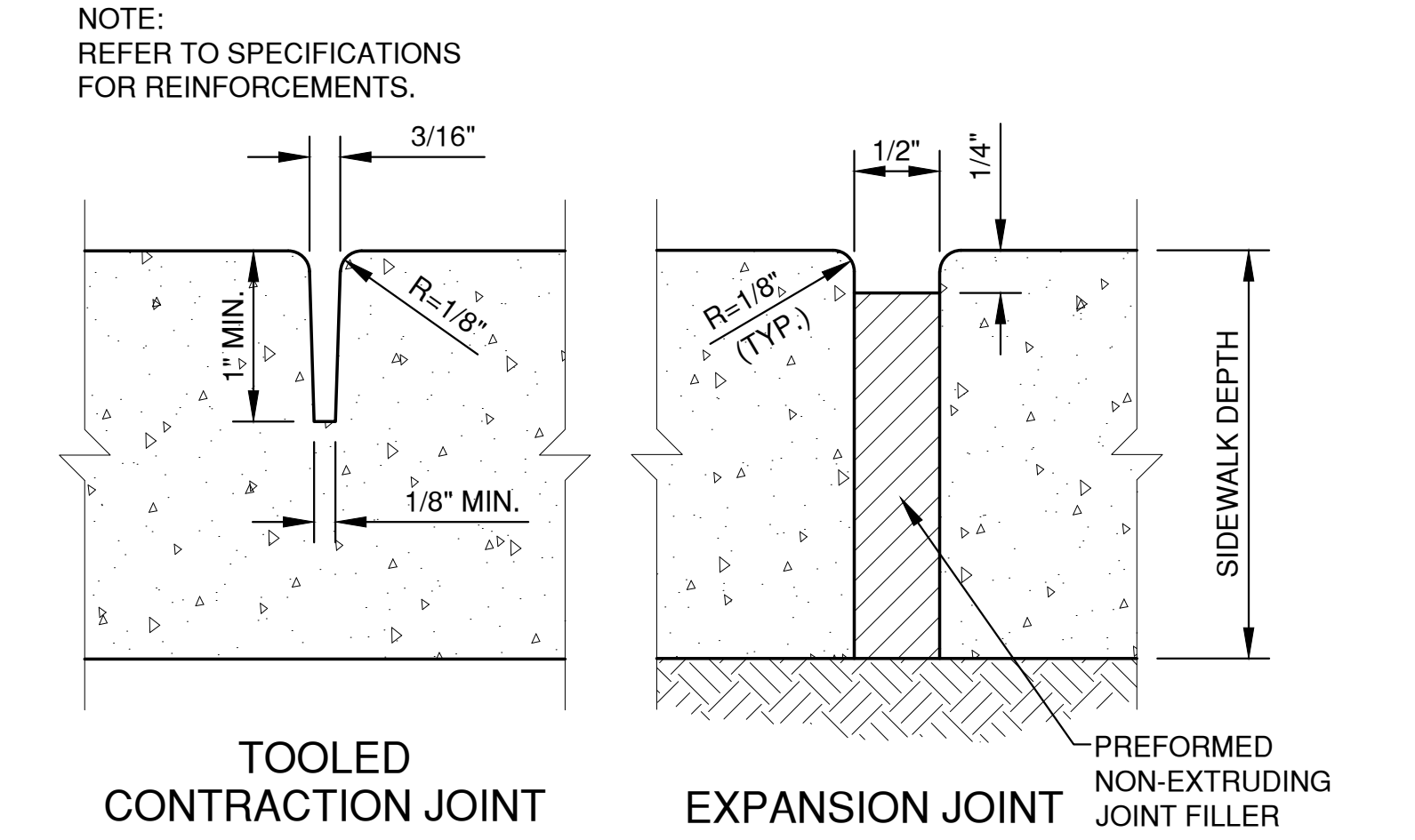
CURB TAPER DETAIL



CLAY DAM DETAIL
AQUABLOK : www.aquablok.com
INSTALLATION PER MANUFACTURERS GUIDELINES



TYPICAL SECTION



NOTE: REFER TO SPECIFICATIONS FOR REINFORCEMENTS.

WALK WIDTH	CONTRACTION JOINT SPACING		EXPANSION JOINT SPACING
	TRANSVERSE	LONGITUDINAL	
4'	4'	NOT REQ'D	100' MAX.
5'	5'	NOT REQ'D	100' MAX.
6'	6'	NOT REQ'D	100' MAX.
8'	4'	4'	100' MAX.
10'	5'	5'	100' MAX.
12'	6'	6'	100' MAX.

SIDEWALK DETAIL

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 LAYOUT: DETAILS (3)

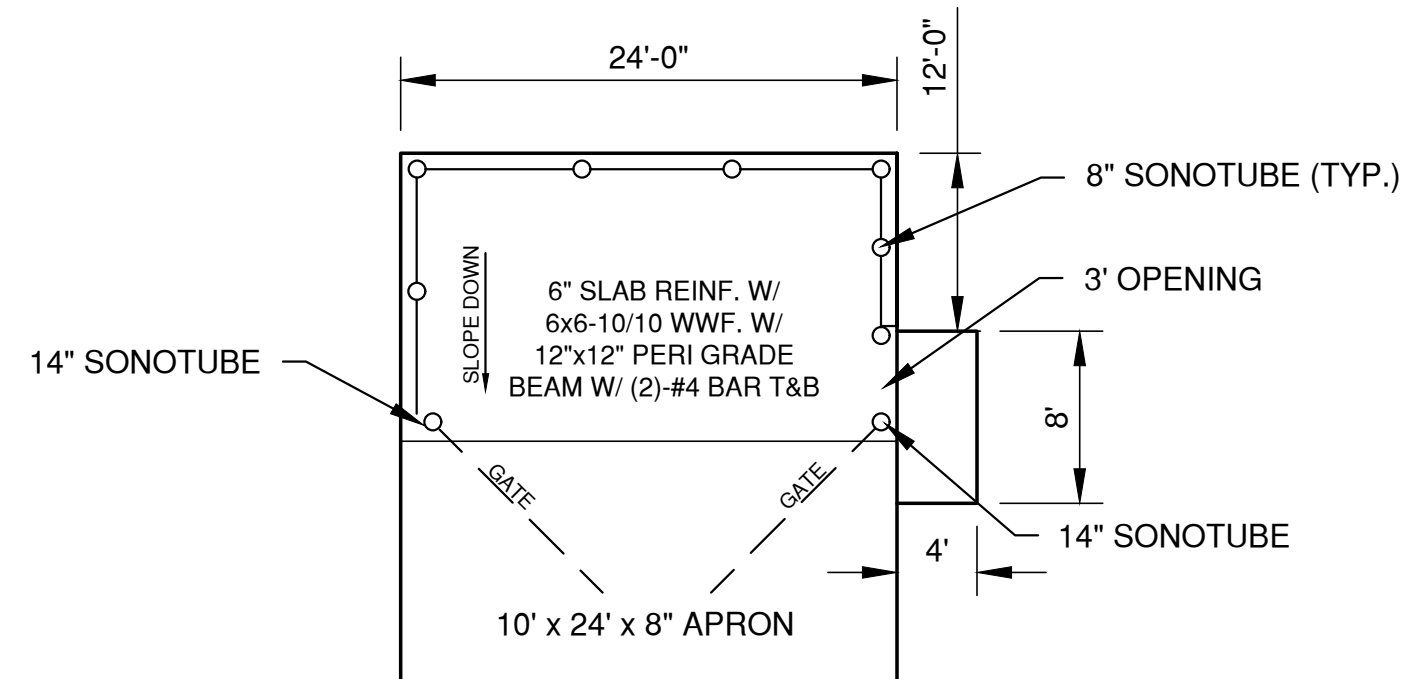
NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION

EVORA - A MULTI-FAMILY DEVELOPMENT
FOR LEXINGTON HOMES, INC.
VILLAGE OF HOBART
BROWN COUNTY, WISCONSIN

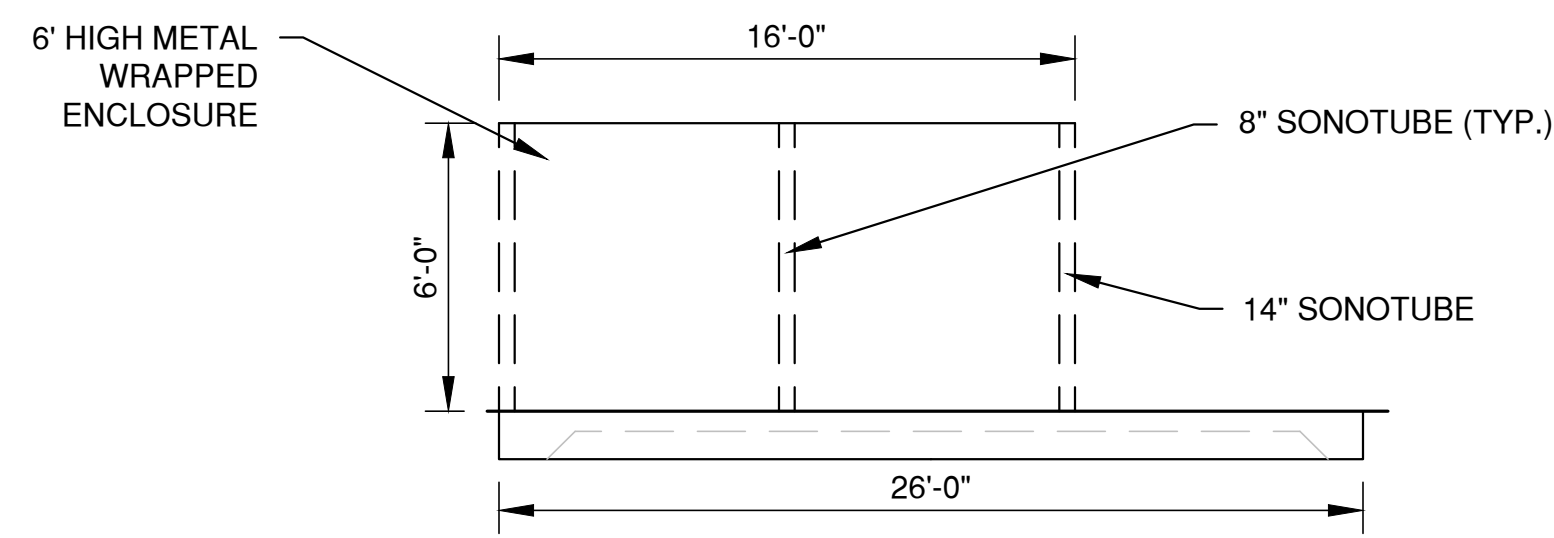
MISCELLANEOUS DETAILS

DATE
04/20/24
FILE
4329160.DET
JOB NO.
4329160

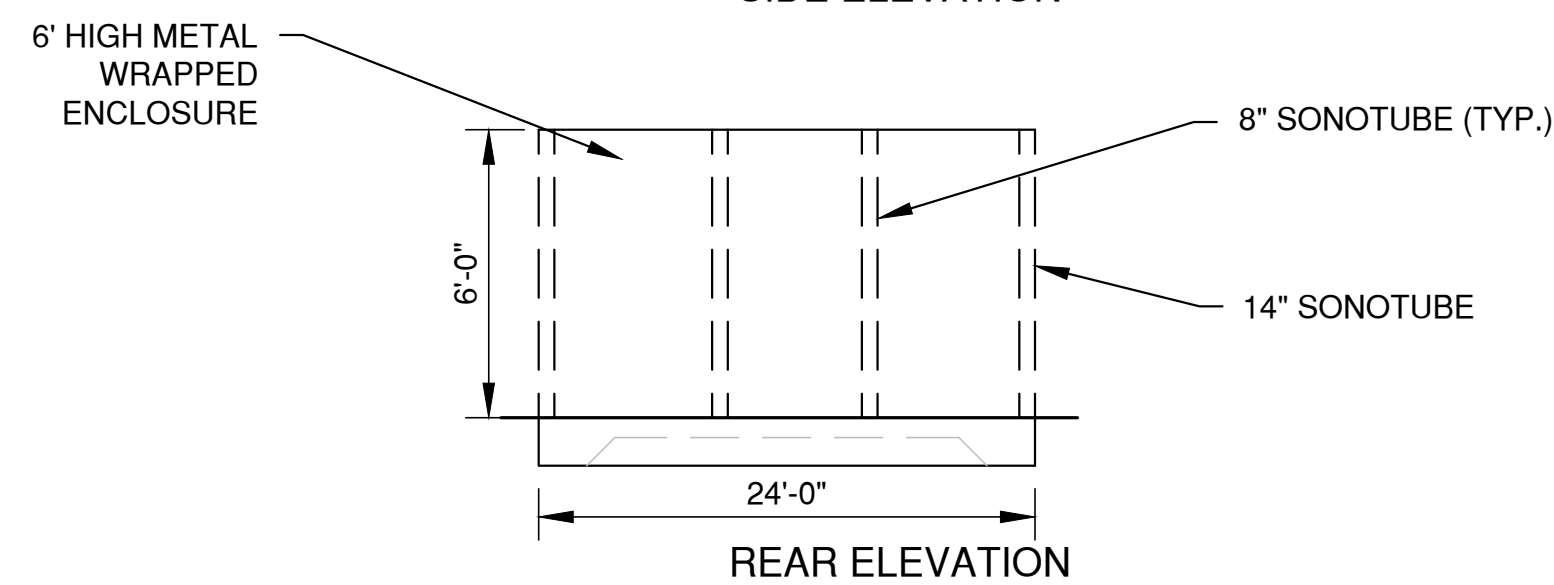
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PLAN VIEW



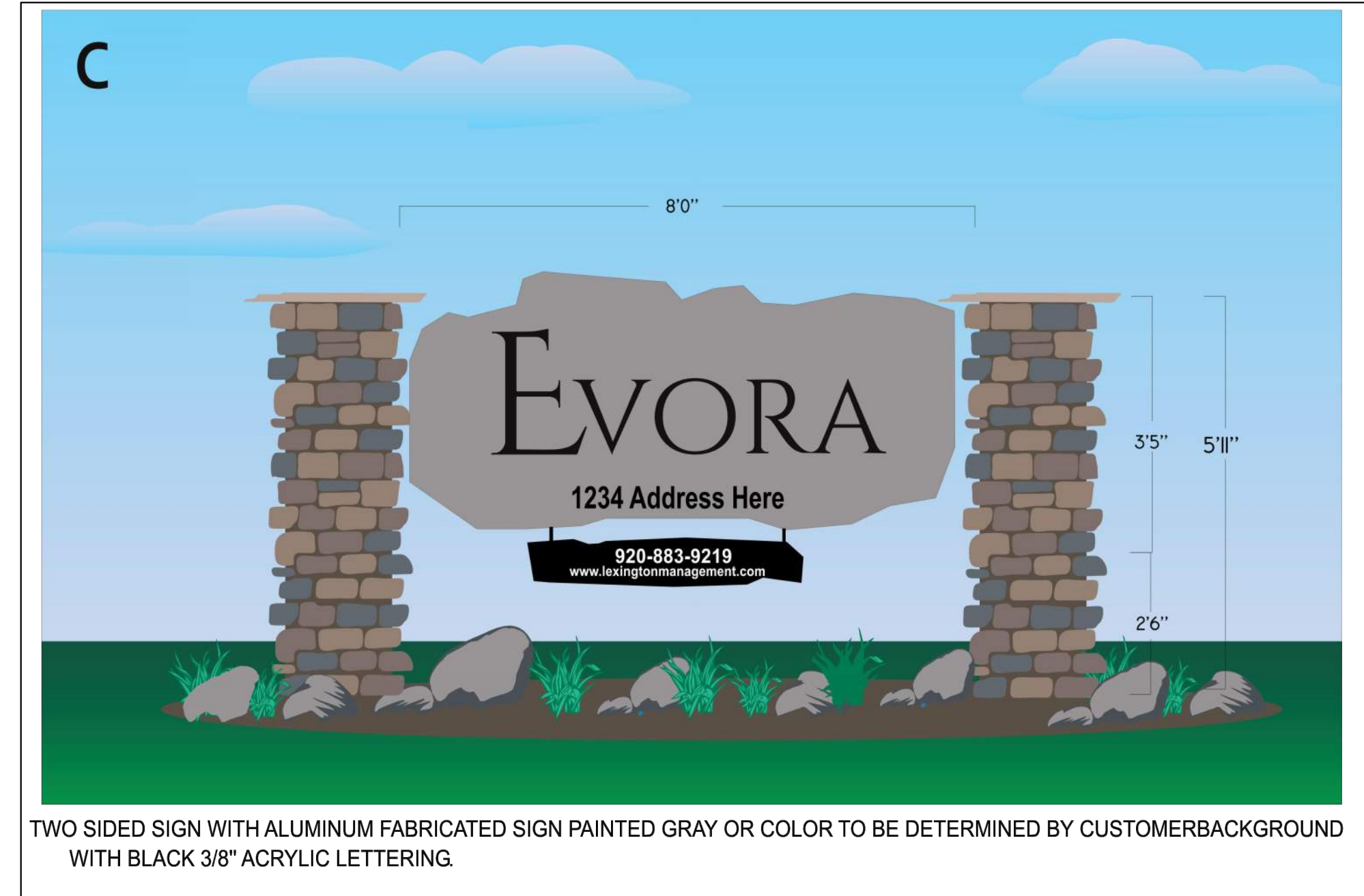
SIDE ELEVATION



REAR ELEVATION

NOTE: SLAB TO HAVE SONOTUBES PUT IN AT TIME OF FLATWORK POUR, 1' FROM EDGE OF CONCRETE SLAB TO CENTER OF HOLE

TRASH ENCLOSURE DETAIL



TWO SIDED SIGN WITH ALUMINUM FABRICATED SIGN PAINTED GRAY OR COLOR TO BE DETERMINED BY CUSTOMER BACKGROUND WITH BLACK 3/8" ACRYLIC LETTERING.

MONUMENT SIGN DETAIL



WPLED13

<https://www.rablighing.com/product/WPLED13>

WIDTH	13W	TYPE	CONSTANT CURRENT
COLOR TEMP	5000K (COOL)	120V	0.11A
LUMENS	1,711 lm	208V	0.07A
EFFICACY	115.6 lm/W	240V	0.06A
COLOR ACCURACY	70 CRI	277V	0.05A
L70 LIFESPAN	100,000 HOURS	INPUT WATTS	14.8W

WALL PACK LIGHTING DETAIL

LAYOUT: DETAILS (4) FILE: P:\A\2024\4329160\445\4329160_DET.rvt PRO: DATE: Jun 24, 2024 11:35:00am

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN
								LLP
								CHECKED
								DESIGNED
								JGS

EVORA - A MULTI-FAMILY DEVELOPMENT
FOR LEXINGTON HOMES, INC.
VILLAGE OF HOBART
BROWN COUNTY, WISCONSIN

MISCELLANEOUS DETAILS

DATE	04/20/24
FILE	4329160 DET
JOB NO.	4329160



INLET PROTECTION NOTES:

INLET PROTECTION DEVICES SHALL BE IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1060, STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITES.

MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE WDOT PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

MAINTENANCE NOTES:

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED IN THE FABRIC DOES NOT FALL INTO THE STRUCTURE. MATERIAL THAT HAS FALLEN INTO THE INLET SHALL BE IMMEDIATELY REMOVED.

**INSTALLATION NOTES:
TYPE "B" AND "C"**

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.

DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.

TYPE "D"

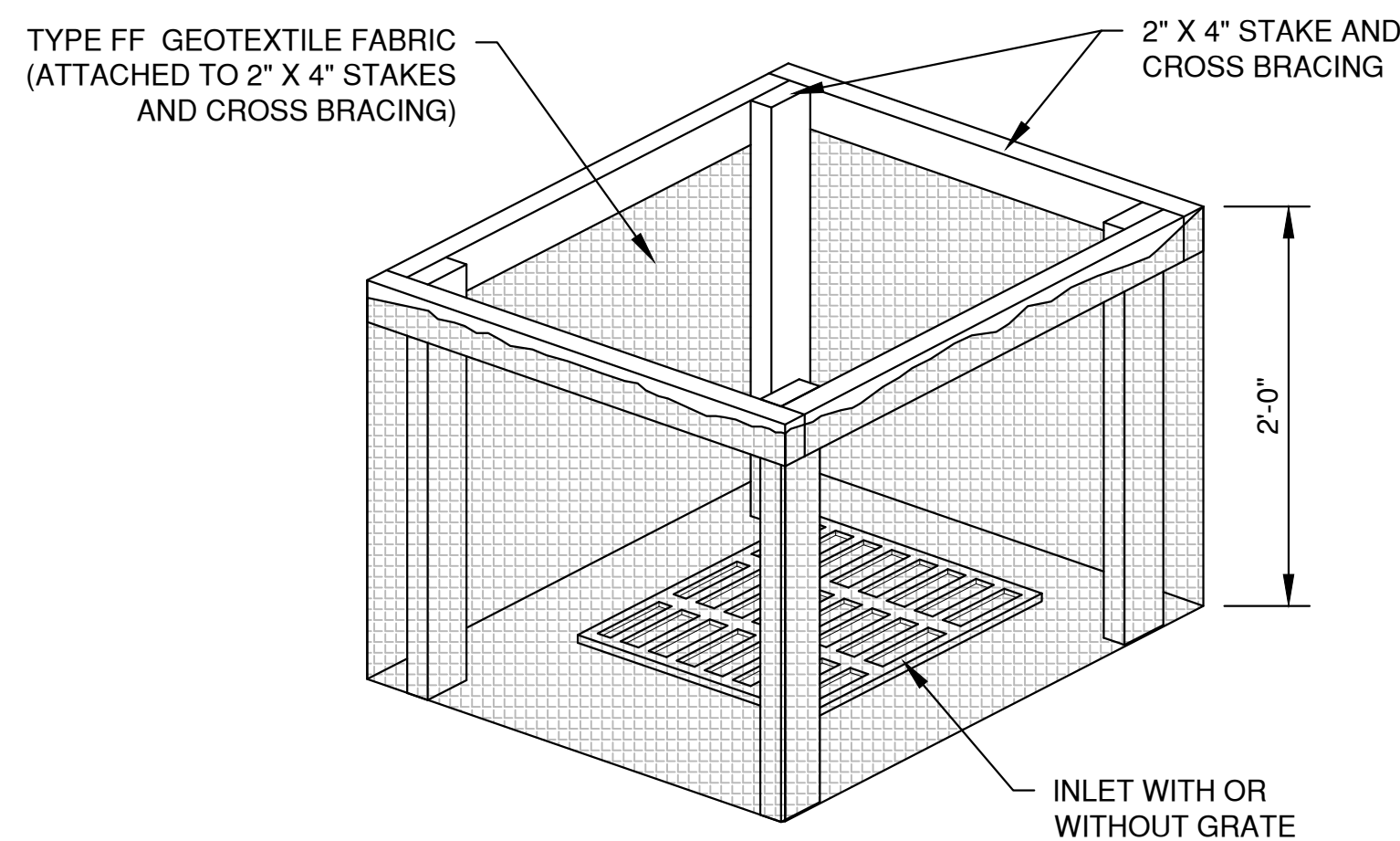
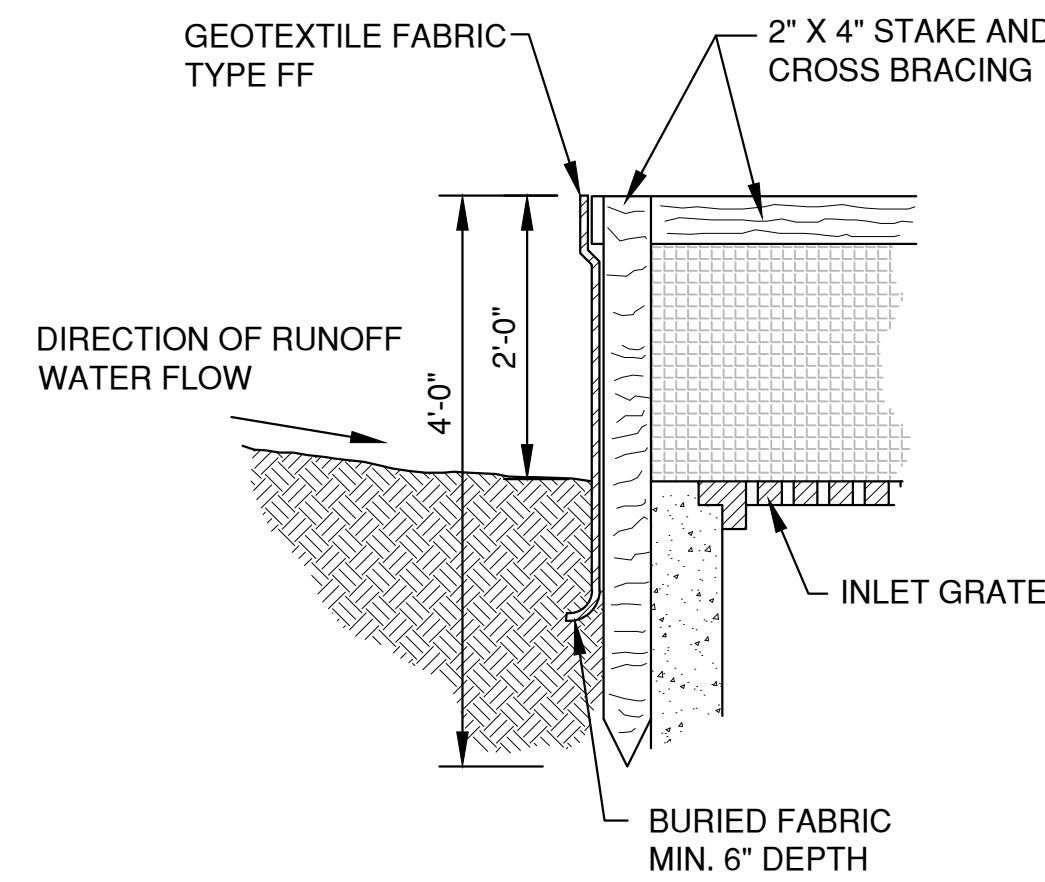
DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30" MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.

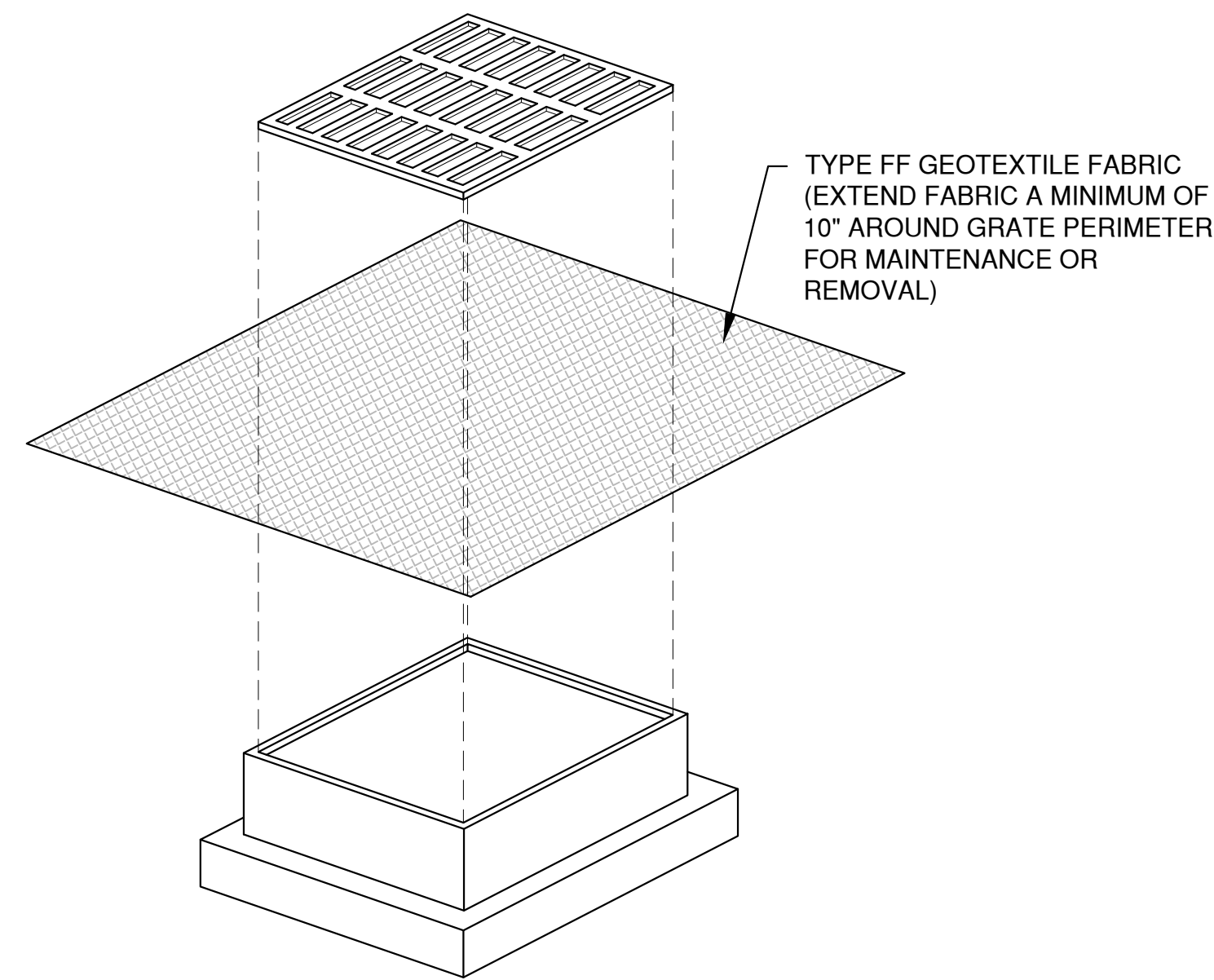
THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY, CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT THE MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.

NOTES:

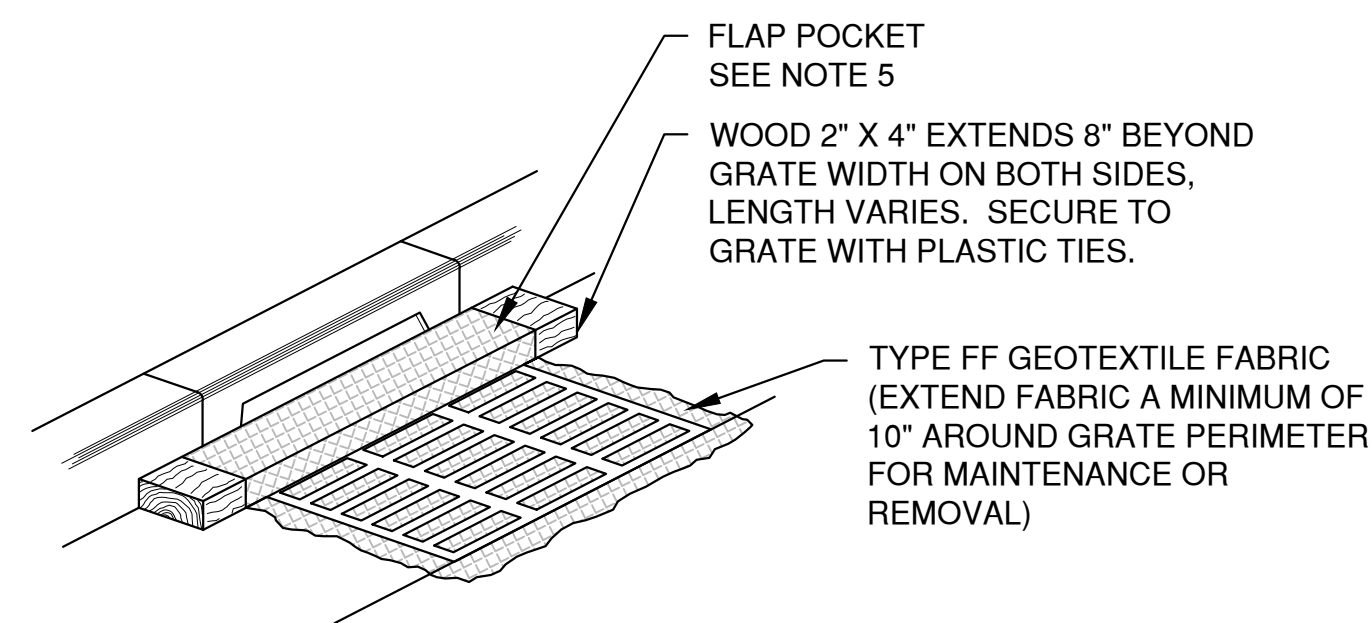
1. TAPER BOTTOM OF BAG TO MAINTAIN THREE INCHES OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO THE STRUCTURE WALL.
2. GEOTEXTILE FABRIC TYPE FF FOR FLAPS, TOP AND BOTTOM OF THE OUTSIDE OF FILTER BAG. FRONT, BACK AND BOTTOM OF FILTER BAG BEING ONE PIECE.
3. FRONT LIFTING FLAP IS TO BE USED WHEN REMOVING AND MAINTAINING FILTER BAG.
4. SIDE FLAPS SHALL BE A MAXIMUM OF TWO INCHES LONG. FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.
5. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2" X 4". THE REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.



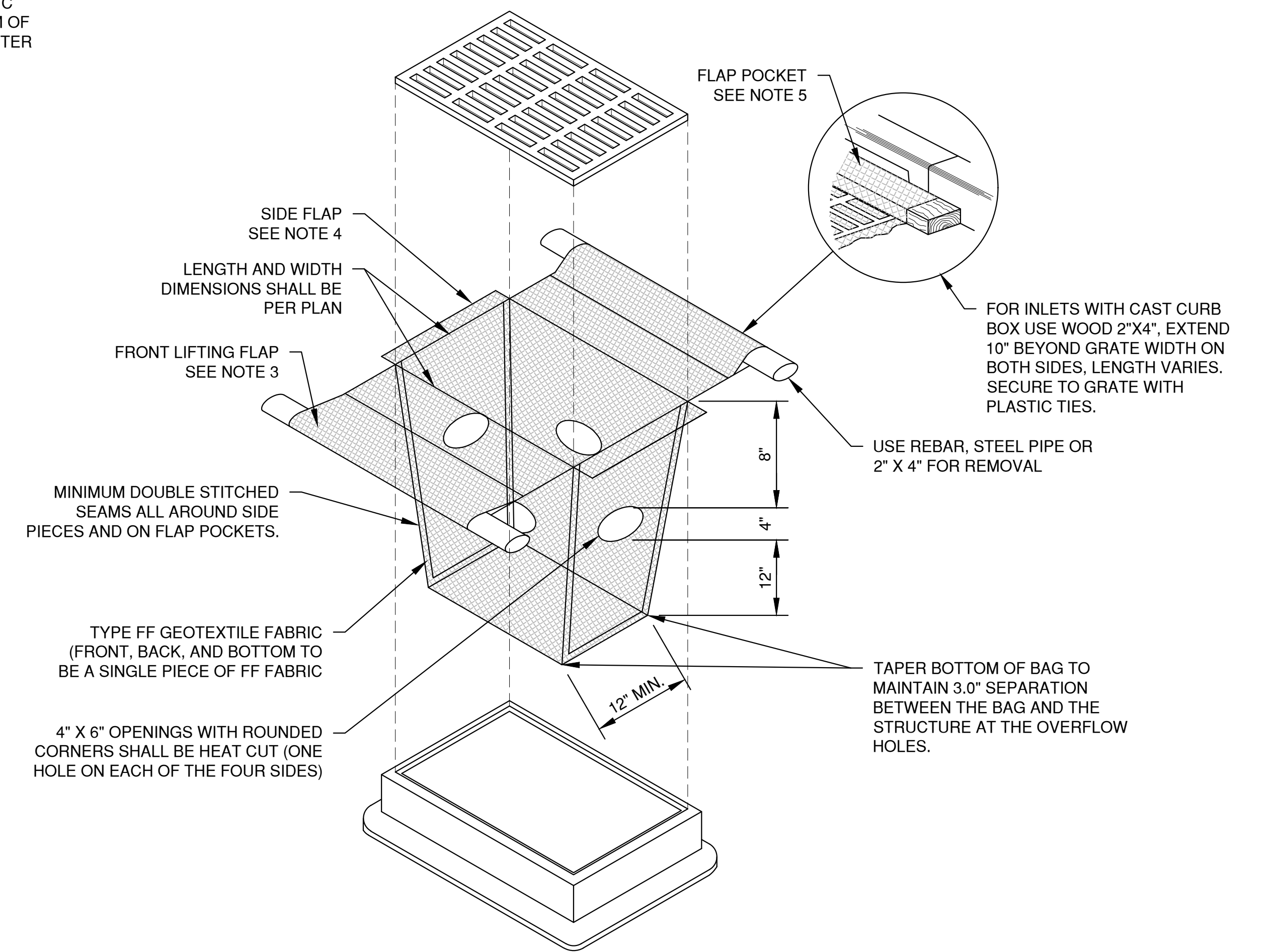
INLET PROTECTION, TYPE A



**INLET PROTECTION, TYPE B
(WITHOUT CURB BOX)
(CAN BE INSTALLED IN ANY INLET WITHOUT A CURB BOX)**



**INLET PROTECTION, TYPE C
(WITH CURB BOX)**



**INLET PROTECTION, TYPE D
(CAN BE INSTALLED IN INLETS WITH OR WITHOUT CURB BOXES)**

FILE: P:\A\2024\4329160\4329160_EC.dwg, PLOT DATE: Jun 24, 2024, 4:44pm, LAYOUT: I_INLET PROTECTION

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION

EVORA - A MULTI-FAMILY DEVELOPMENT FOR LEXINGTON HOMES, INC. VILLAGE OF HOBART BROWN COUNTY, WISCONSIN

EROSION CONTROL INLET PROTECTION TYPES A, B, C AND D

DATE	04/2024
FILE	4329160_EC
JOB NO.	4329160



NOTES:

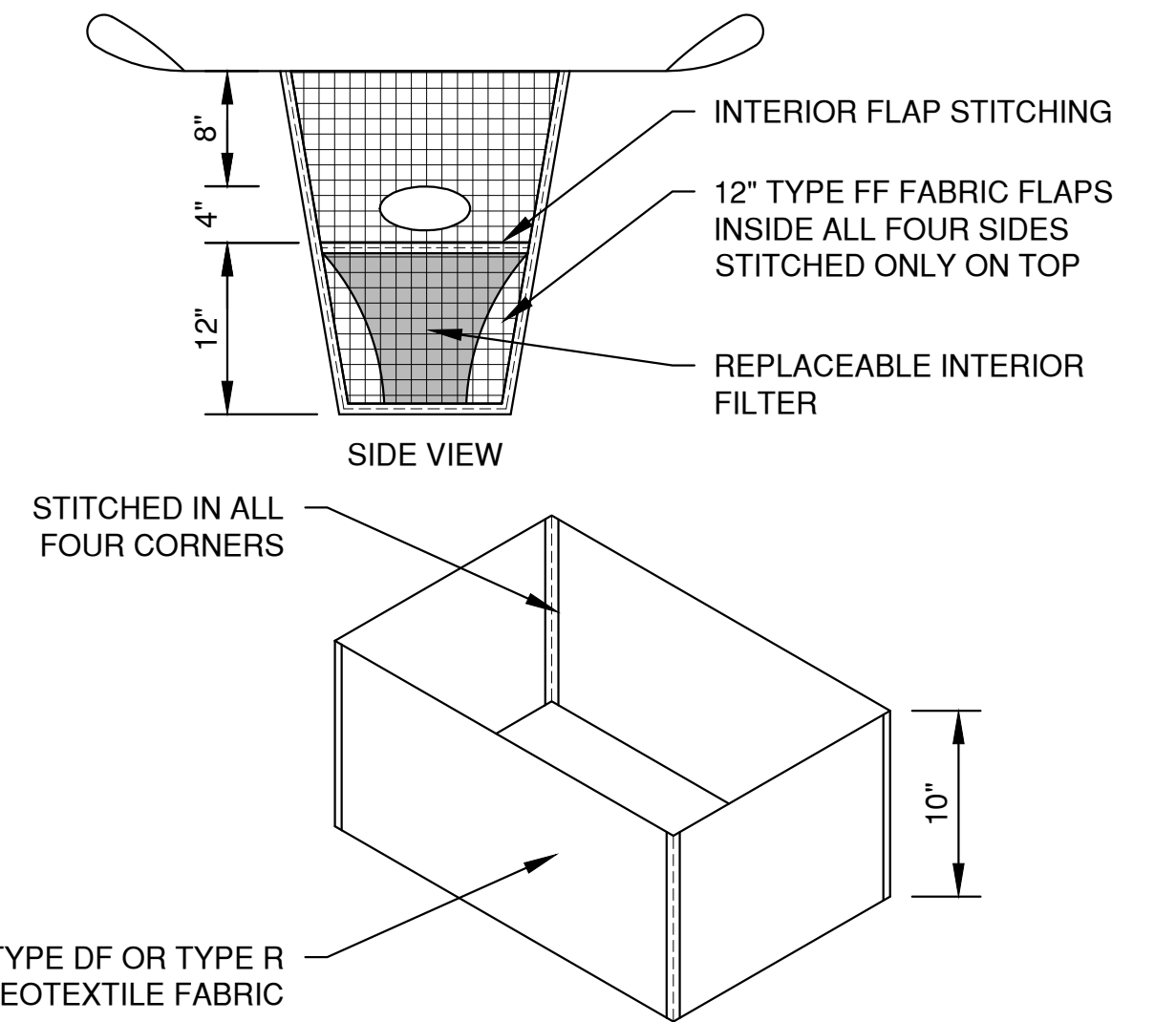
1. TAPER BOTTOM OF BAG TO MAINTAIN THREE INCHES OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO THE STRUCTURE WALL.
2. GEOTEXTILE FABRIC TYPE FF FOR FLAPS AND TOP HALF OF FILTER BAG. GEOTEXTILE FABRIC TYPE HR FOR BOTTOM HALF OF FILTER BAG. FRONT, BACK AND BOTTOM OF FILTER BAG BEING ONE PIECE.
3. FRONT LIFTING FLAP IS TO BE USED WHEN REMOVING AND MAINTAINING FILTER BAG.
4. SIDE FLAPS SHALL BE A MAXIMUM OF TWO INCHES LONG. FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.
5. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2" X 4". THE REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.

MAINTENANCE NOTES:

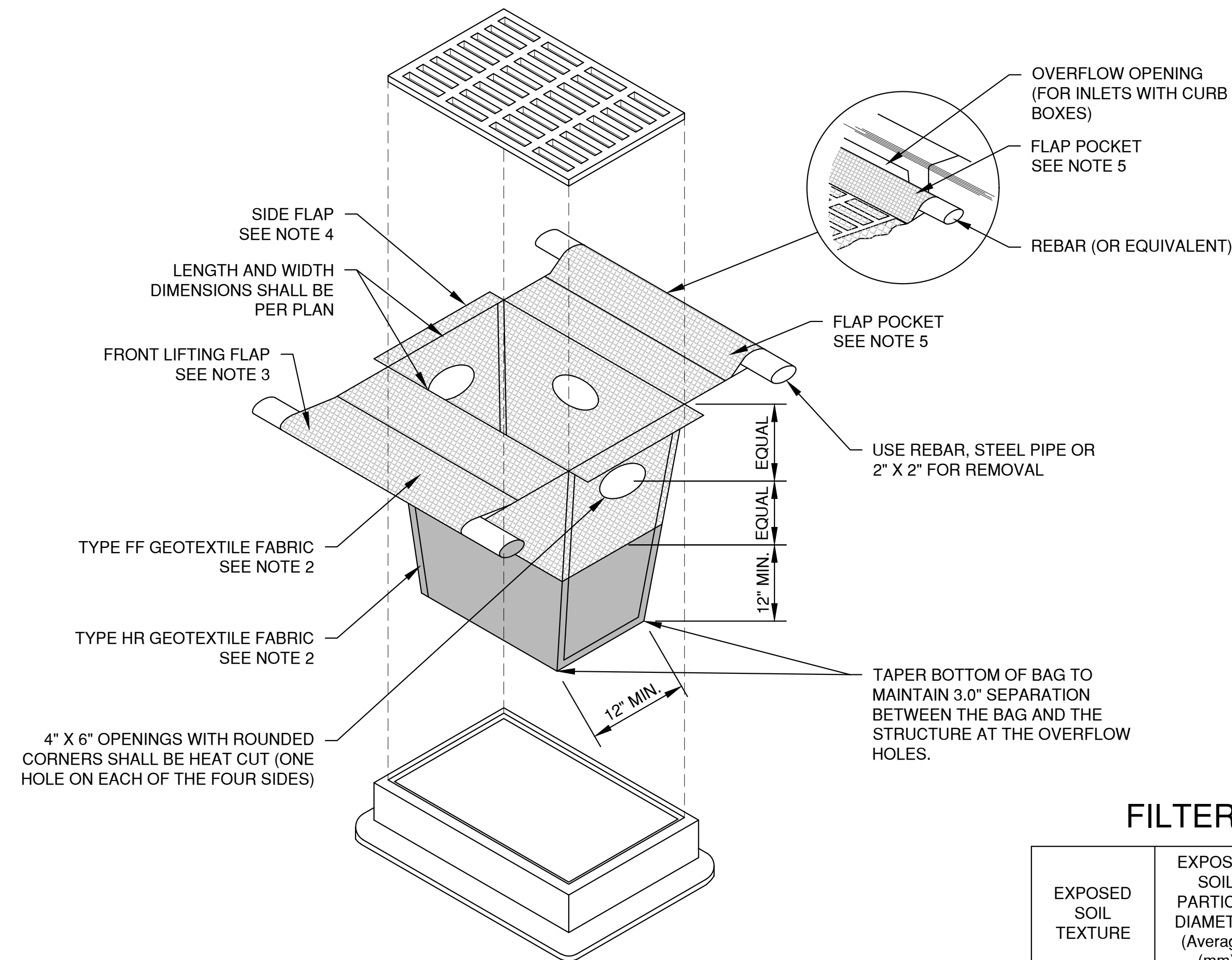
WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED IN THE FABRIC DOES NOT FALL INTO THE STRUCTURE. MATERIAL THAT HAS FALLEN INTO THE INLET SHALL BE IMMEDIATELY REMOVED.

NOTES:

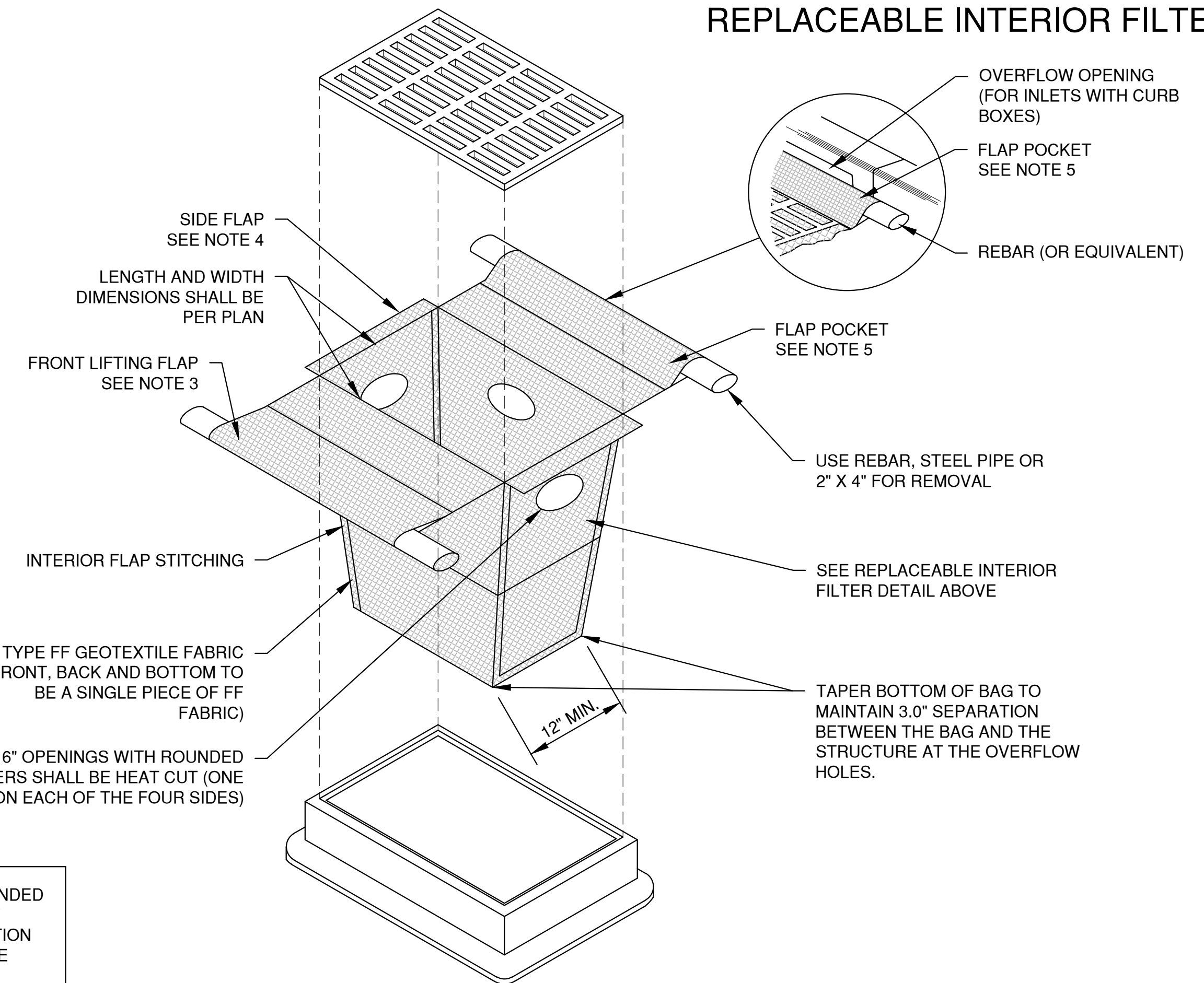
1. TAPER BOTTOM OF BAG TO MAINTAIN THREE INCHES OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO THE STRUCTURE WALL.
2. GEOTEXTILE FABRIC TYPE FF FOR FLAPS, TOP AND BOTTOM OF OUTSIDE OF FILTER BAG. FRONT, BACK AND BOTTOM OF FILTER BAG BEING ONE PIECE.
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5. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2" X 4". THE REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.



REPLACEABLE INTERIOR FILTER



INLET PROTECTION, TYPE D-HR
(CAN BE INSTALLED IN INLETS WITH OR WITHOUT CURB BOXES)



INLET PROTECTION, TYPE D-M
(CAN BE INSTALLED IN INLETS WITH OR WITHOUT CURB BOXES)

FILTER FABRIC TYPE

EXPOSED SOIL TEXTURE	EXPOSED SOIL PARTICLE DIAMETER (Average) (mm)	FILTER FABRIC TYPE*	RECOMMENDED INLET PROTECTION DEVICE TYPE
COARSE (SAND)	≥0.0625	FF	D, D-M
MEDIUM (SILT LOAM)	0.0624 - 0.005	DF	D, D-M
FINE (CLAY)	≤ 0.004	R	D-M
		HR	D-HR

* DF, R OR HR FILTERS MAY BE USED WHERE FF IS THE REQUIRED MINIMUM STANDARD. R OR HR MAY BE USED WHERE DF IS THE REQUIRED MINIMUM STANDARD.

** FOLLOW DESIGN CRITERIA OF WDNR TECHNICAL STANDARD 1060

LAYOUT: 2. INLET PROTECTION File: P:\A\2024\1230\4329160\4329160_EC.dwg Plot Date: Jun 24, 2024 4:44pm

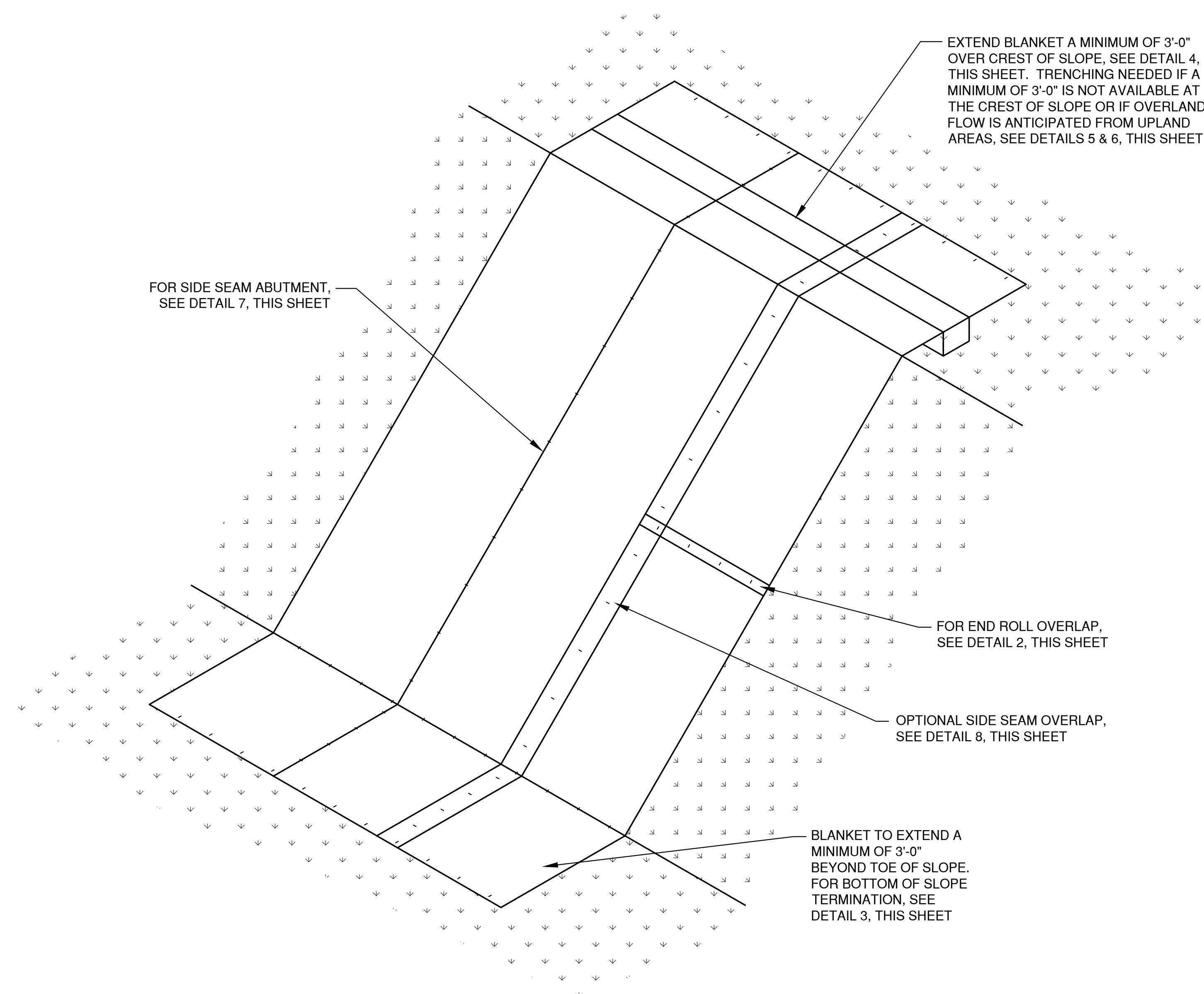
NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN
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								CHECKED
								DESIGNED
								JGS

EVORA - A MULTI-FAMILY DEVELOPMENT FOR LEXINGTON HOMES, INC. VILLAGE OF HOBART BROWN COUNTY, WISCONSIN

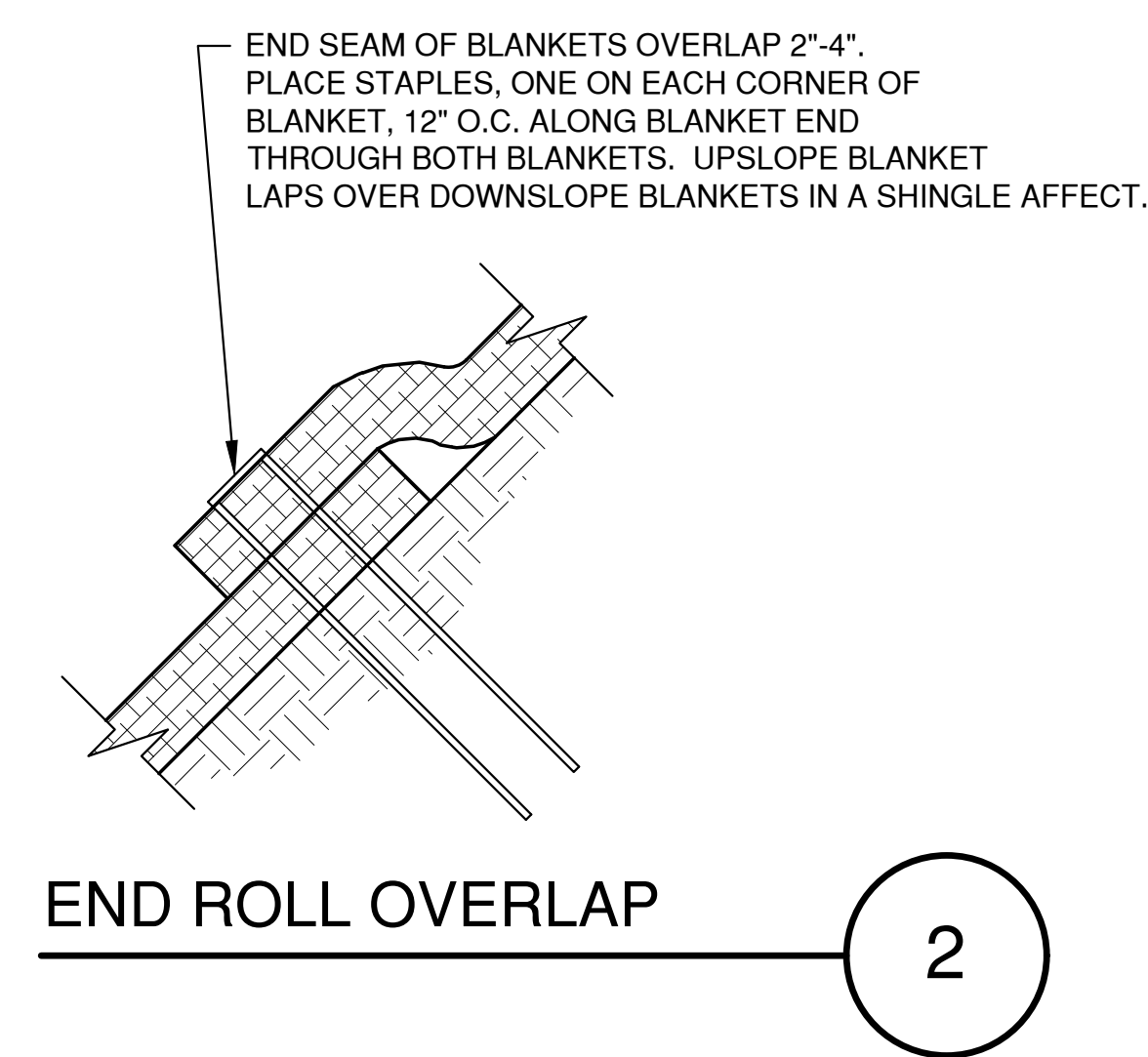
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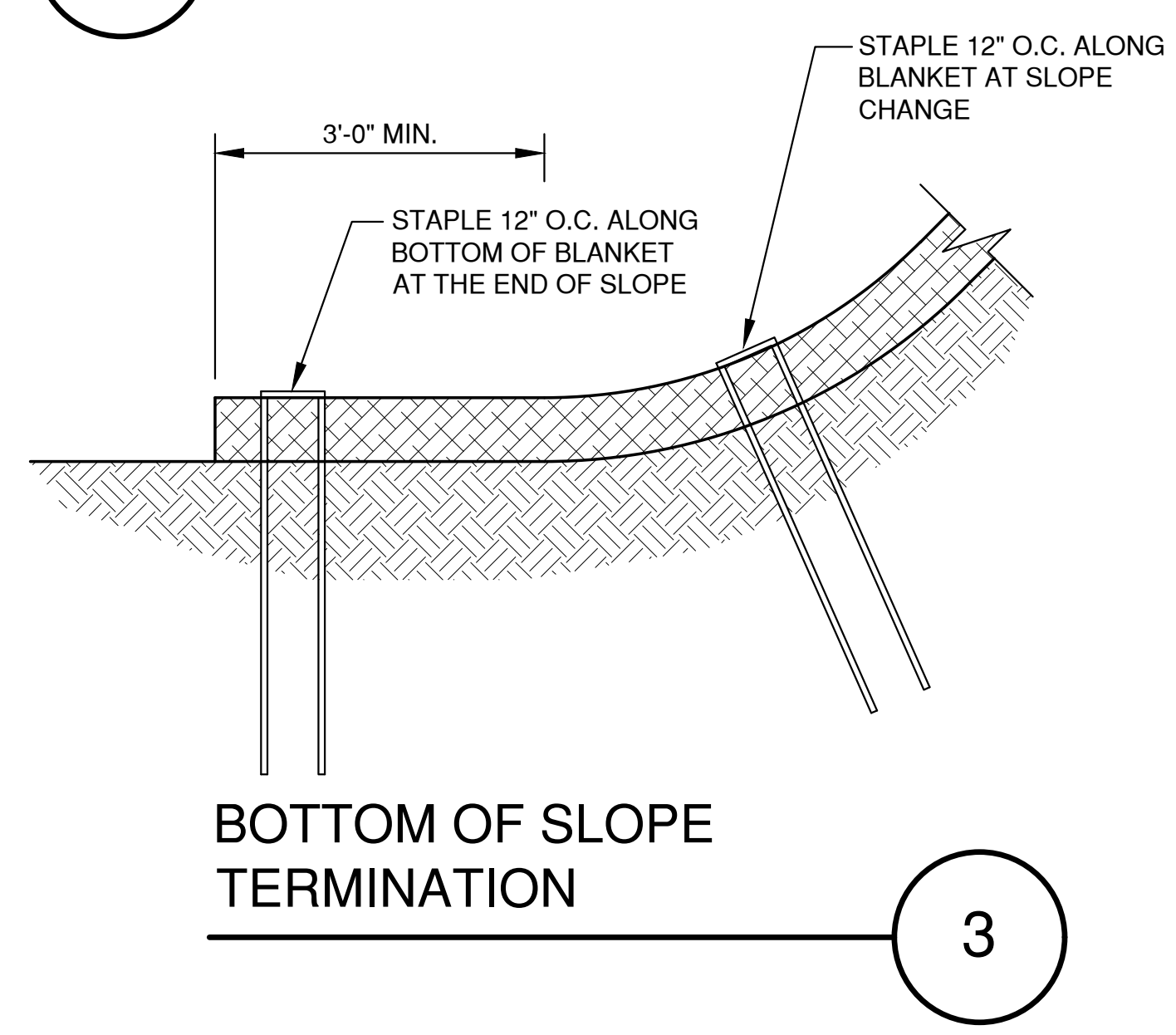




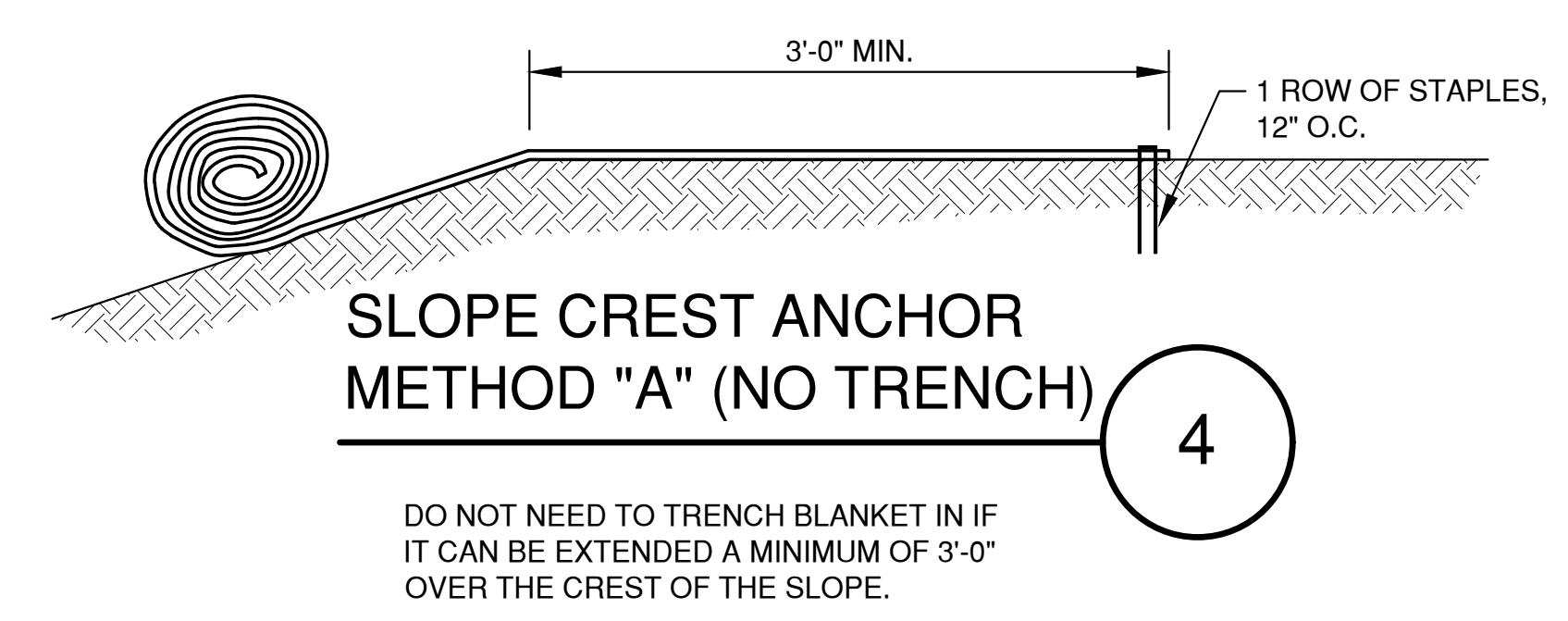
SLOPE DETAIL 1



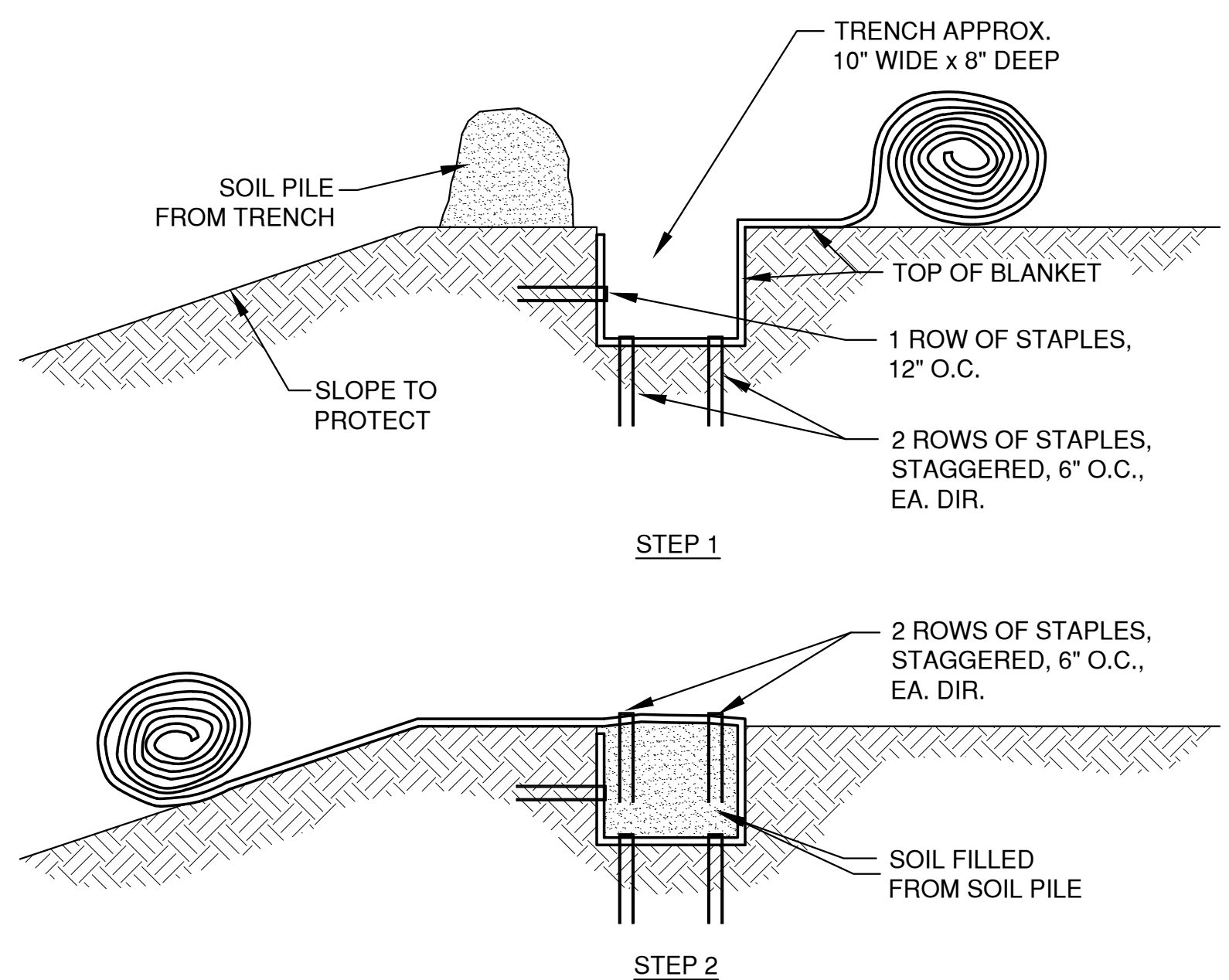
END ROLL OVERLAP 2



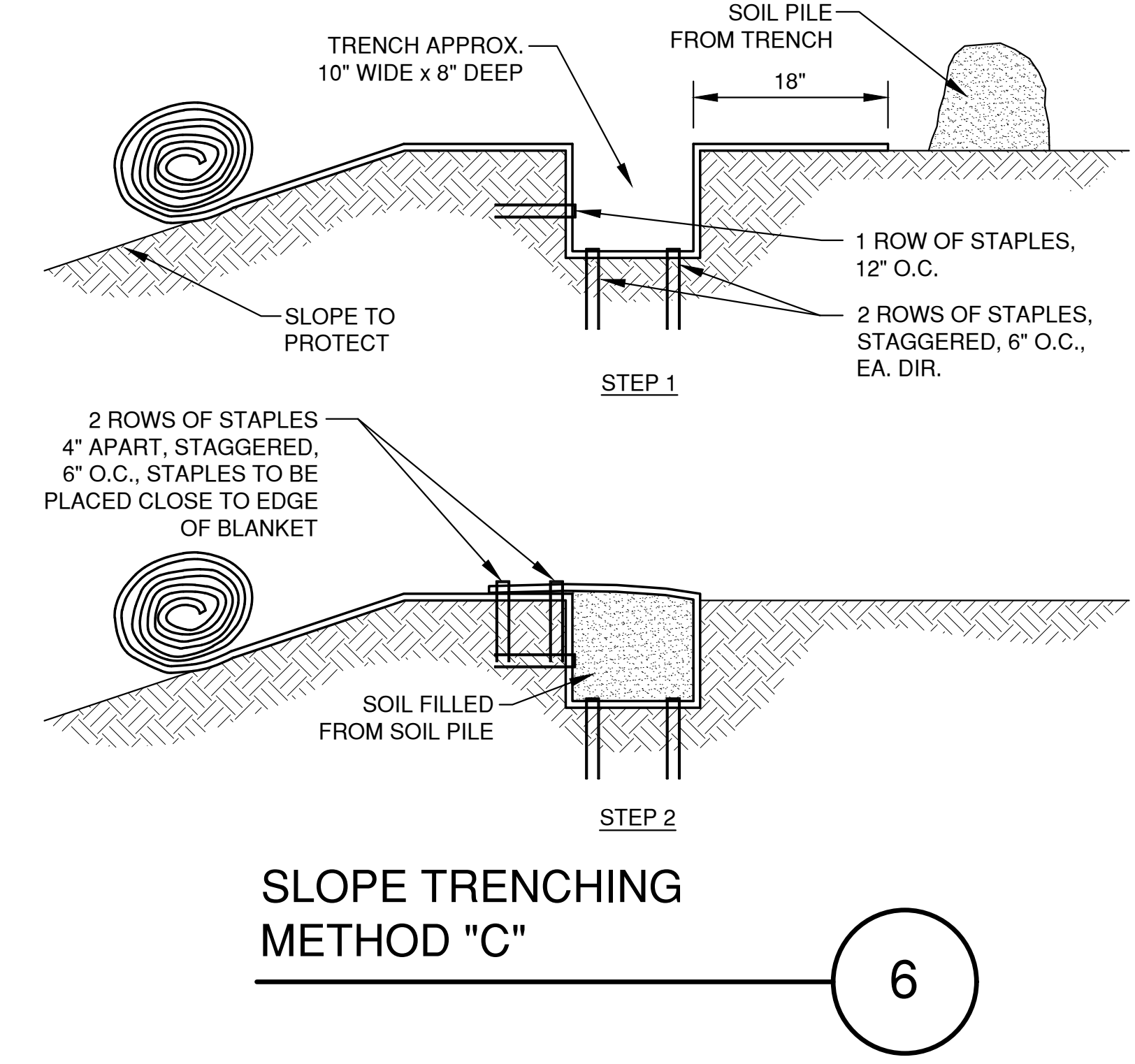
BOTTOM OF SLOPE TERMINATION 3



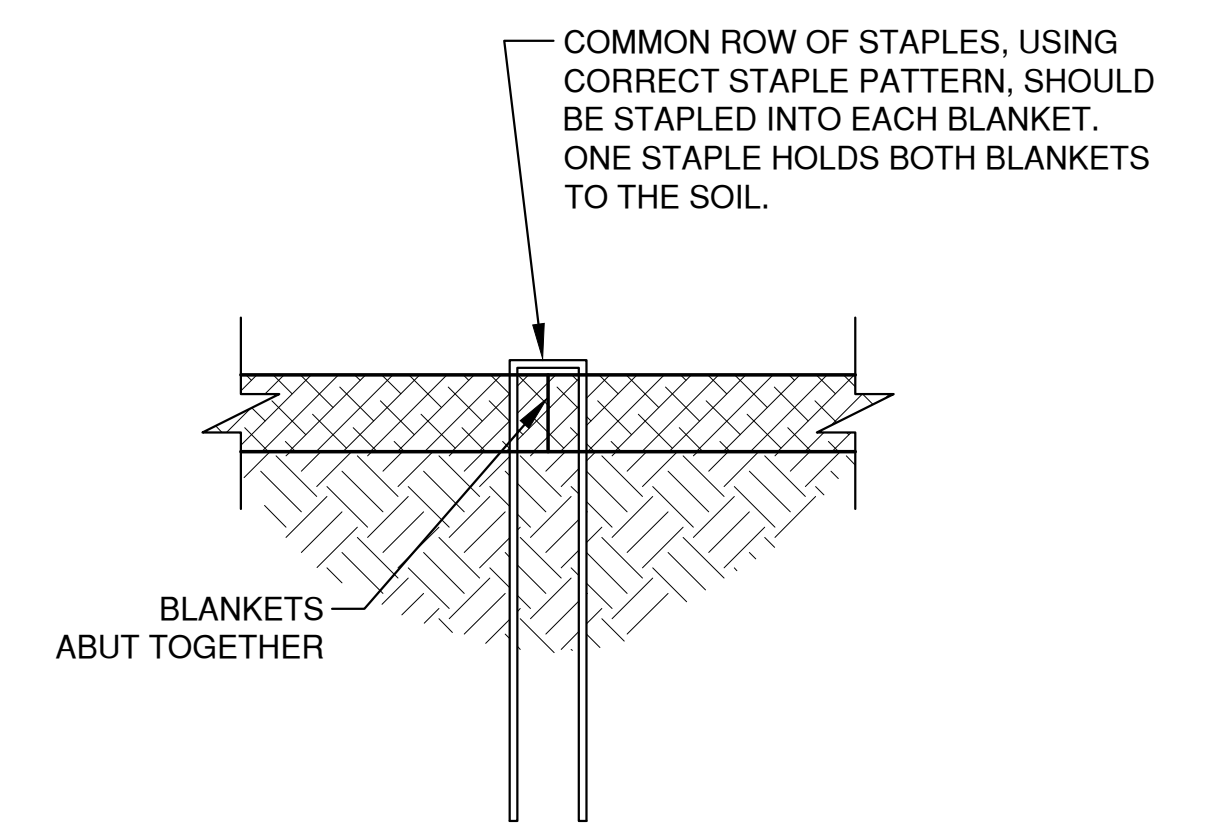
SLOPE CREST ANCHOR METHOD "A" (NO TRENCH) 4



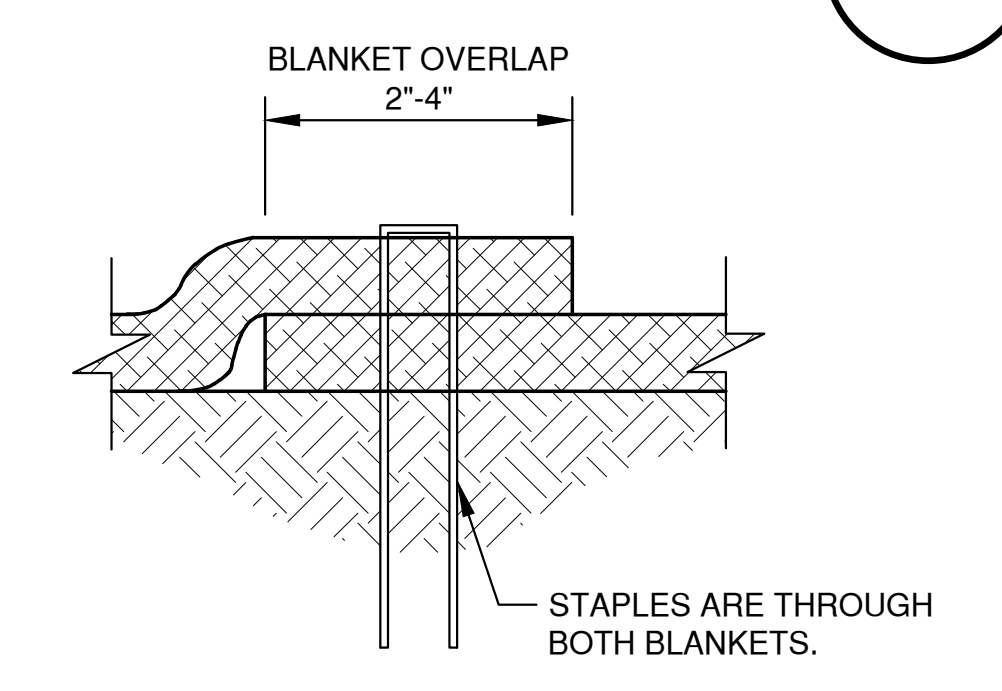
SLOPE TRENCHING METHOD "B" 5



SLOPE TRENCHING METHOD "C" 6



SIDE SEAM ABUT STAPLE DETAIL 7



SIDE SEAM OVERLAP STAPLE DETAIL 8

NOTES:
1. STAPLE PATTERNS ARE DEPENDENT ON SITE CONDITIONS. SEE MANUFACTURER STAPLE PATTERN GUIDE FOR DETAILS.

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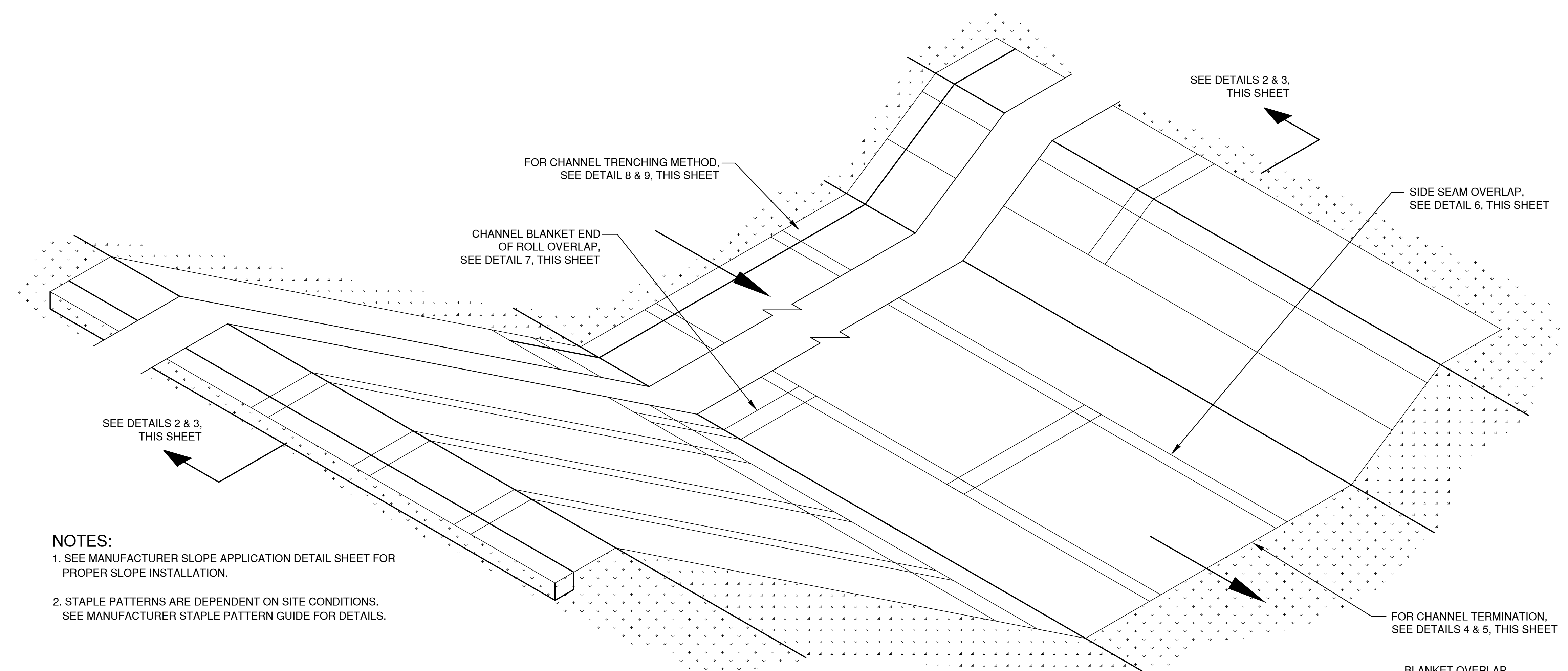
NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION

DRAWN: LLP
 CHECKED:
 DESIGNED: JGS
EVORA - A MULTI-FAMILY DEVELOPMENT FOR LEXINGTON HOMES, INC. VILLAGE OF HOBART BROWN COUNTY, WISCONSIN

EROSION CONTROL EROSION MAT SLOPE APPLICATION DETAILS

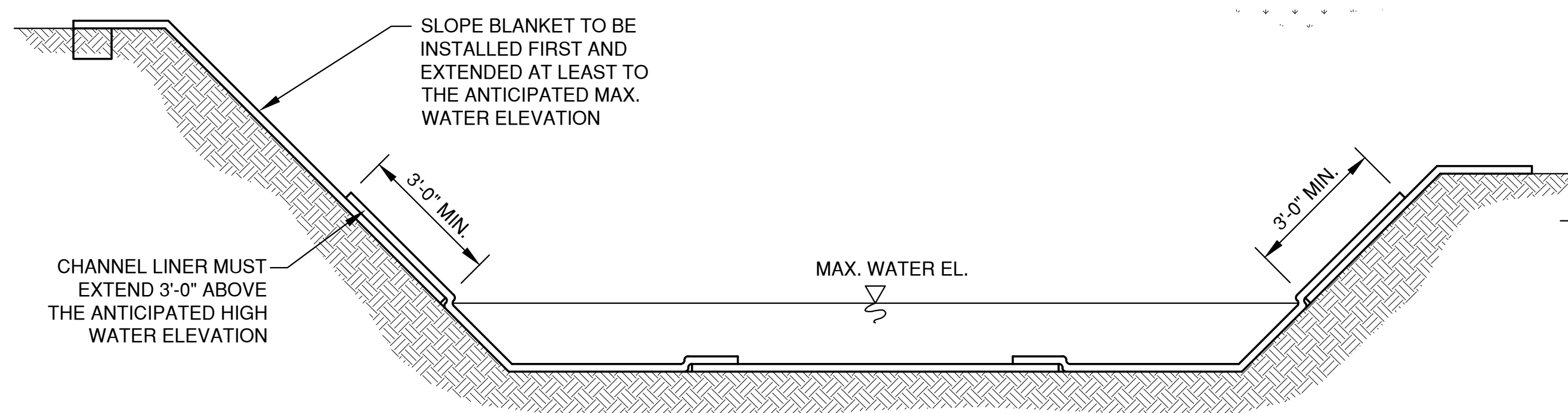
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JOB NO.	4329160

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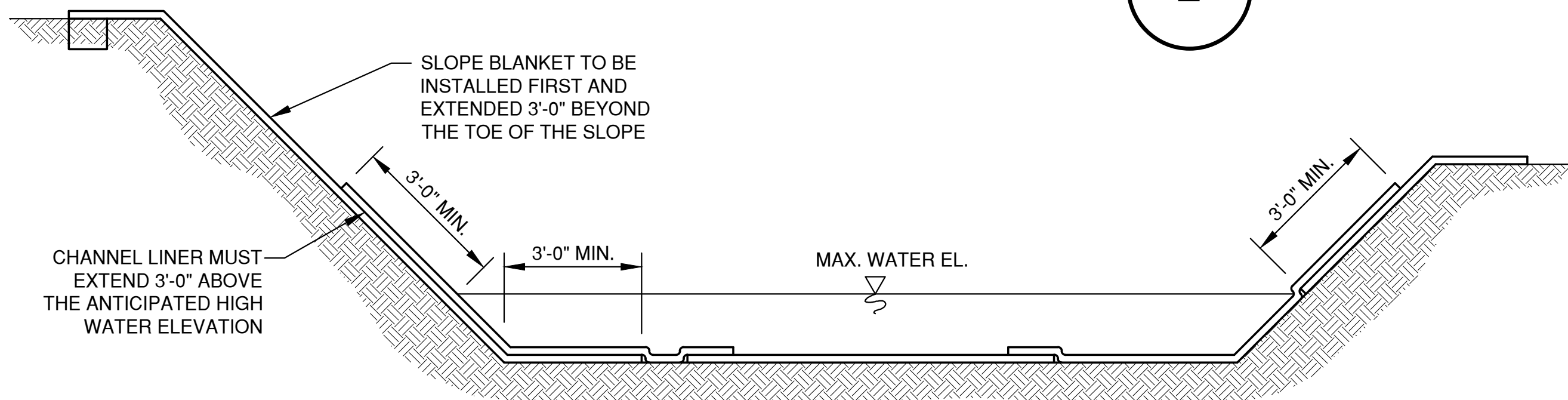
NOTES:

1. SEE MANUFACTURER SLOPE APPLICATION DETAIL SHEET FOR PROPER SLOPE INSTALLATION.
2. STAPLE PATTERNS ARE DEPENDENT ON SITE CONDITIONS. SEE MANUFACTURER STAPLE PATTERN GUIDE FOR DETAILS.



CHANNEL INSTALLATION METHOD "A"

2

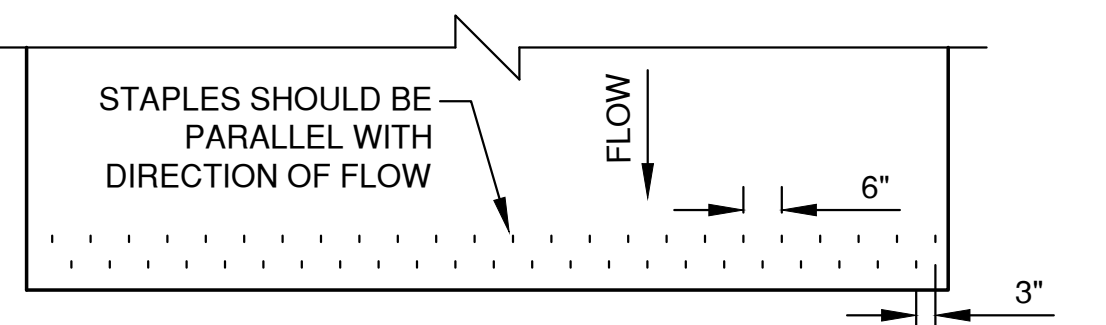


CHANNEL INSTALLATION METHOD "B"

3

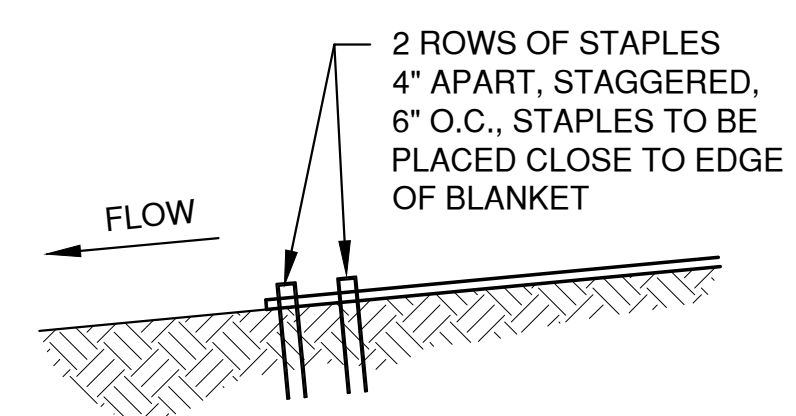
CHANNEL DETAIL

1



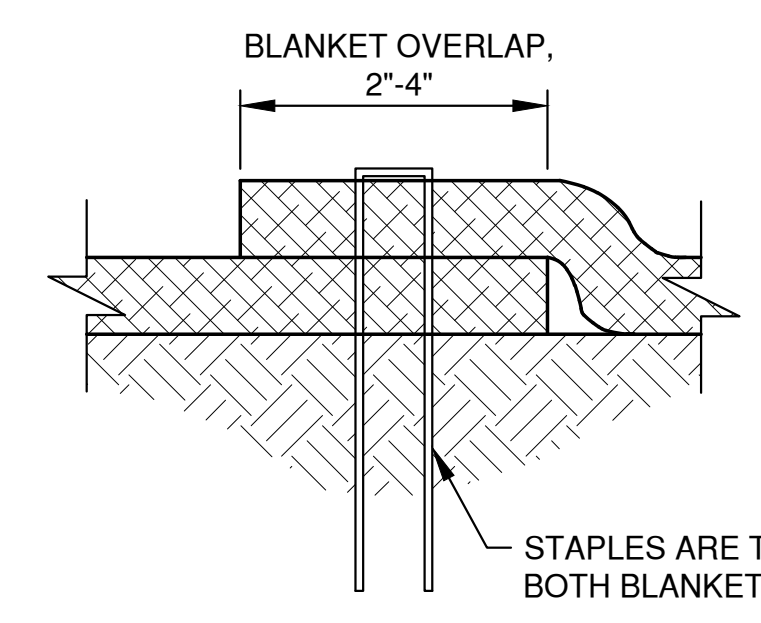
CHANNEL TERMINATION PLAN

4



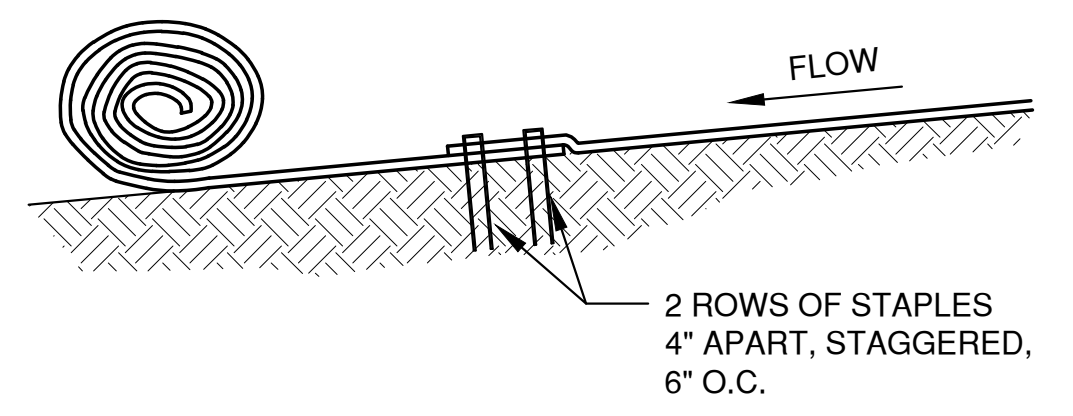
CHANNEL TERMINATION

5



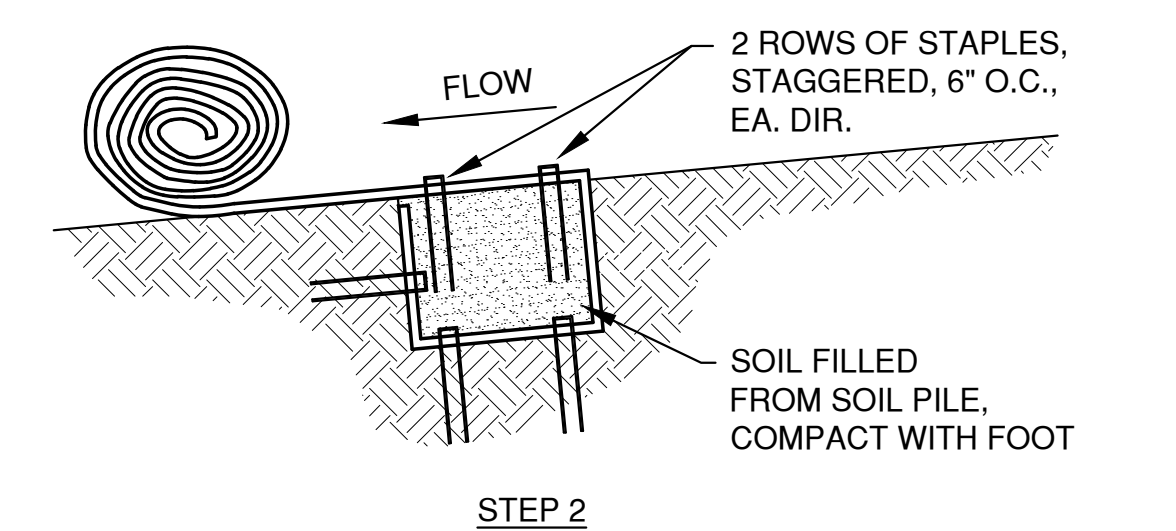
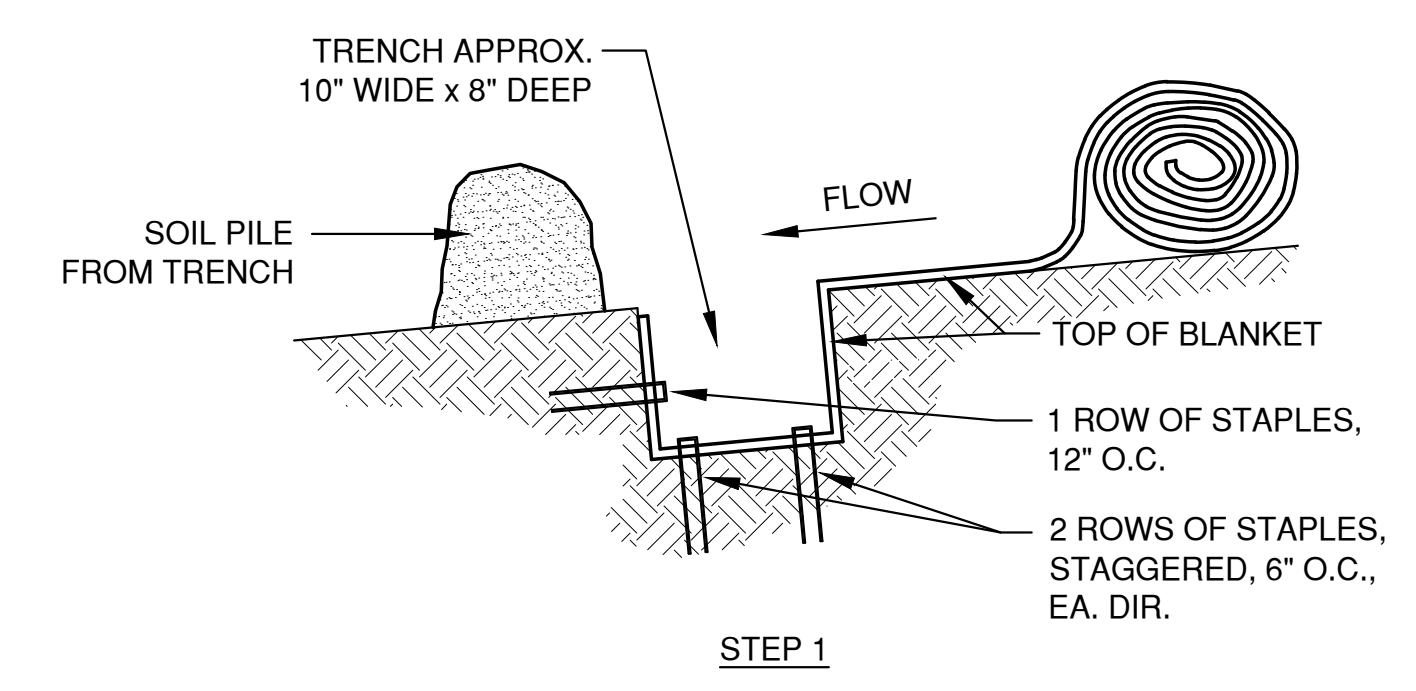
SIDE SEAM OVERLAP STAPLE DETAIL

6



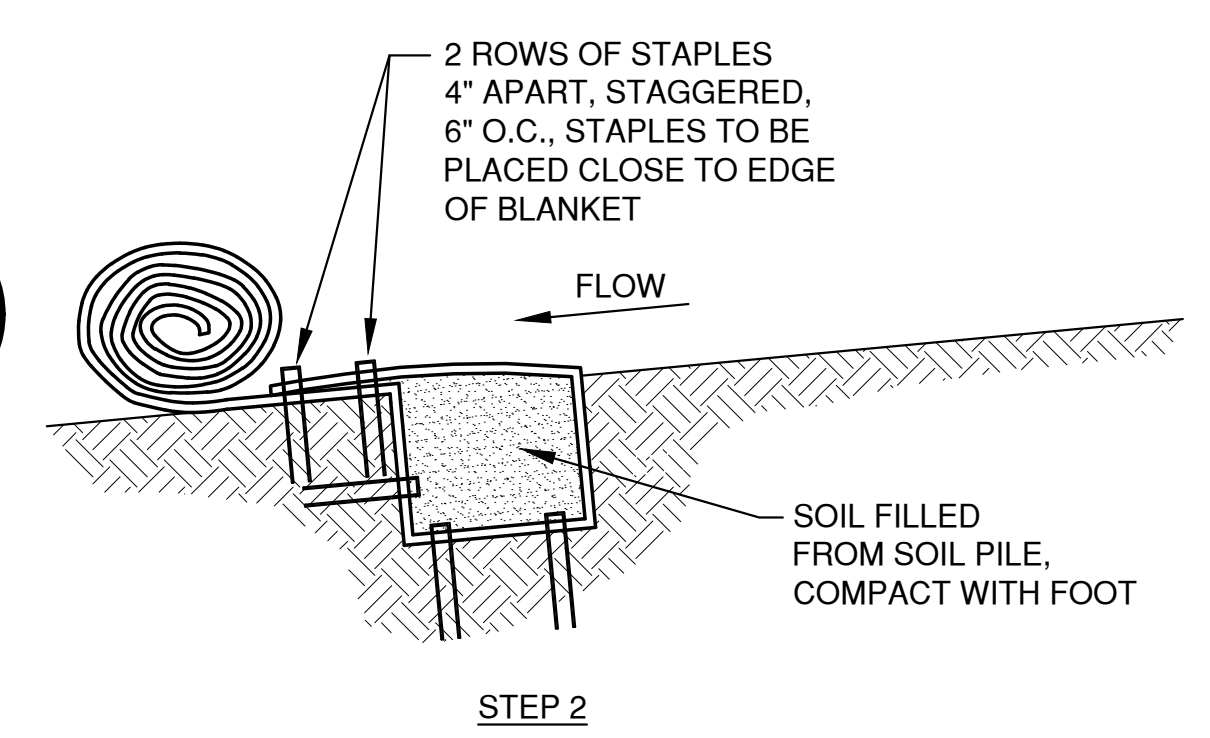
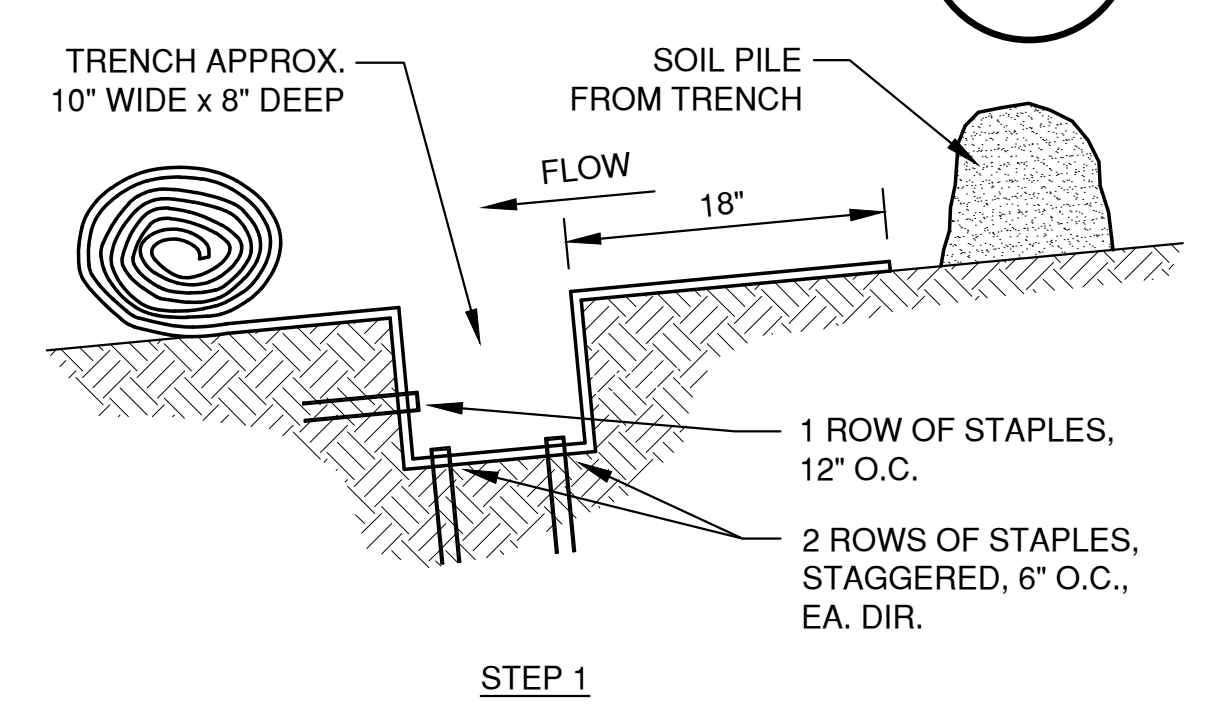
CHANNEL BLANKET END OF ROLL OVERLAP

7



CHANNEL TRENCHING METHOD "A"

8



CHANNEL TRENCHING METHOD "B"

9

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NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION

EVORA - A MULTI-FAMILY DEVELOPMENT FOR LEXINGTON HOMES, INC. VILLAGE OF HOBART BROWN COUNTY, WISCONSIN

EROSION CONTROL EROSION MAT CHANNEL APPLICATION DETAILS

DATE	04/2024
FILE	4329160 EC
JOB NO.	4329160

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60

TOTAL BUILDING EXTERIOR MATERIALS		
MATERIAL DESCRIPTION	SQUARE FEET	PERCENTAGE OF WALL
STONE	2,650	19.5
VERTICAL SIDING	2,104	15.5
HORIZONTAL SIDING	8,571	62
METAL ROOF / DECK	312	3
TOTAL	13,691	100

DOES NOT INCLUDE WINDOW AND DOOR OPENINGS

EXTERIOR MATERIALS		
MATERIAL DESCRIPTION	SQUARE FEET	PERCENTAGE OF WALL
STONE	1,686	39
VERTICAL SIDING	788	18
HORIZONTAL SIDING	1,634	37.5
METAL ROOF / DECK	228	5.5
TOTAL	4,336	100

DOES NOT INCLUDE WINDOW AND DOOR OPENINGS

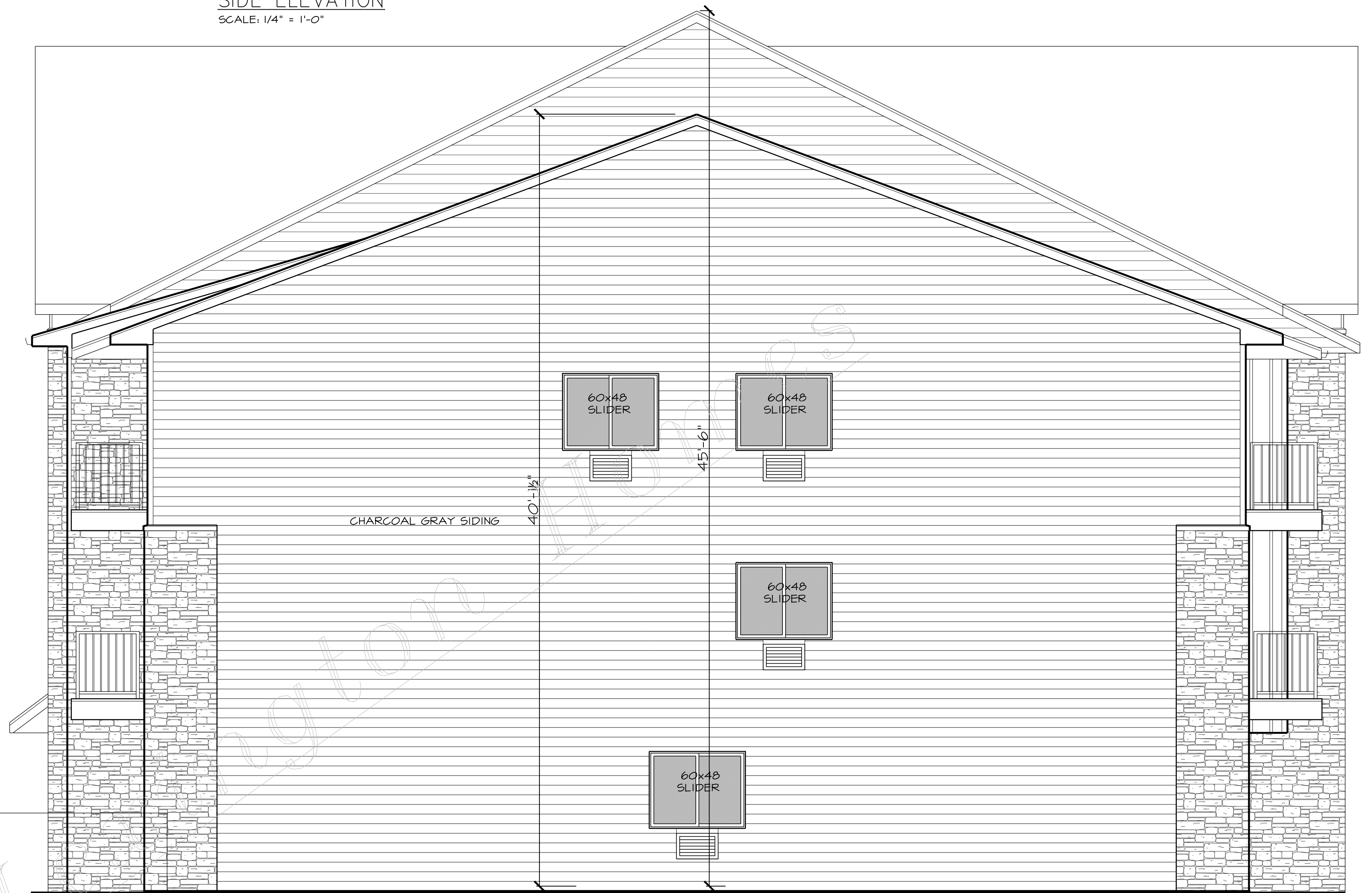
LaPlant
Architecture, LLC
OFFICE: 26 WILLARD DRIVE
GREEN BAY, WISCONSIN
MAILING: 592 RUSTIC WAY
GREEN BAY, WISCONSIN 54313
Telephone: (920) 737-9769
EMAIL: laplantarchitecture@yahoo.com
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REVISION	DATE
X	XX

DATE: 5/10/2024
PROJECT NO.: 461492
SHEET: **A**
1.1

PRELIMINARY
NOT FOR CONSTRUCTION

DETAILED RIGHT
SIDE ELEVATION
SCALE: 1/4" = 1'-0"



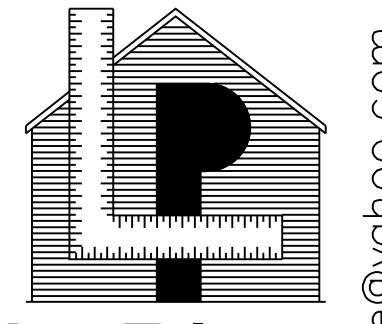
DETAILED LEFT
SIDE ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR MATERIALS		
MATERIAL DESCRIPTION	SQUARE FEET	PERCENTAGE OF WALL
STONE	141	7.5
VERTICAL SIDING	0	0
HORIZONTAL SIDING	1728	92.5
METAL ROOF / DECK	0	0
TOTAL	1,869	100

DOES NOT INCLUDE WINDOW AND DOOR OPENINGS

PRELIMINARY
NOT FOR CONSTRUCTION

60



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Architecture, LLC

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EMAIL: laplantarchitecture@yahoo.com
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REVISION	DATE
X	XX

DATE
5/10/2024

PROJECT NO.
461492

SHEET
A
1.2



EXTERIOR MATERIALS

MATERIAL DESCRIPTION	SQUARE FEET	PERCENTAGE OF WALL
STONE	682	12
VERTICAL SIDING	1316	23.5
HORIZONTAL SIDING	3481	62
METAL ROOF / DECK	144	2.5
TOTAL	5,623	100

DOES NOT INCLUDE WINDOW AND DOOR OPENINGS

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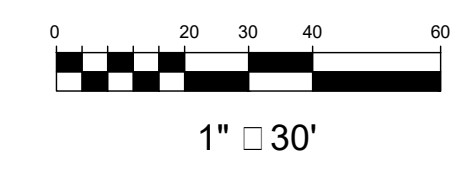
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REVISION	DATE
X	XX

DATE: 5/10/2024
PROJECT NO.: 461492
SHEET: **A 1.3**

PRELIMINARY
NOT FOR CONSTRUCTION

LANDSCAPE PLAN



LANDSCAPE INSTALLATION NOTES:

- GENERAL:**
- Landscape contractor is responsible for coordinating work with general contractor to ensure the landscape scope of work doesn't interfere with existing or built conditions. They should note any discrepancies to the general contractor.
 - Landscape contractor is responsible for verifying the location of underground utilities by calling their local utility marking service.
 - All plant material should be inspected by Landscape Contractor prior to installation to determine overall appearance and condition. Plant material that is damaged or has clear signs of stress should be rejected.
 - Quantities of material shown on plan take precedence over the specification list or legend.
 - If plant substitutions are required, Landscape Contractor is responsible for submitting recommendations to the client or client's representative.
- PLANTING:**
- When excavating for plant pits, any excess rock or building material should be removed and replaced with specified soil mix backfill.
 - All plant tags should be removed from material by landscape contractor.
 - All planting beds should receive a minimum 3" deep layer of shredded hardwood mulch, unless otherwise noted.
 - Edge all beds with a spade cut edge unless otherwise noted.
 - All backfill around plant material rootballs should receive a soil mix of 4 parts (pulverized) topsoil to 1 part fine, organic compost.
 - All wire baskets and stakes should be removed during planting.
 - Cut and remove top half of burlap around rootballs and cut and remove any twine around trunk or root flare.
 - All stakes and guy wires and tree wrap are to be removed no more than 1 year after installation.

PLANT SCHEDULE

TREES	QTY	COMMON NAME / BOTANICAL NAME	SIZE
ACE	7	Maple 'Autumn Blaze' - <i>Acer x freemanii</i>	1.5"
QUE	8	Oak 'Northern Red' - <i>Quercus rubra</i>	1.5"
SYR	4	Lilac Tree 'Ivory Silk' - <i>Syringa reticulata 'Ivory Silk'</i>	1.5"
SHRUBS	QTY	COMMON NAME / BOTANICAL NAME	SIZE
VIB	25	Viburnum 'Blue Muffin' - <i>Viburnum dentatum 'Christoni'</i>	#5
HYD	44	Hydrangea 'Little Lime' - <i>Hydrangea paniculata 'Lime'</i>	#5
SPI	51	Spiraea 'Dakota Goldcharm' - <i>Spiraea japonica 'Mertmann'</i>	#5
ARB	109	Thuja occidentalis 'Hetz Midget' - <i>Arborvitae 'Hetz Midget'</i>	#5
ORNAMENTAL GRASSES	QTY	COMMON NAME / BOTANICAL NAME	SIZE
CAL	54	Calamagrostis scutiflora 'Karl Foerster' - Grass, Feather Reed	#1
SCH	44	Schizachrium scoparium - Grass, Little Bluestem	#1
PERENNIALS	QTY	COMMON NAME / BOTANICAL NAME	SIZE
HEM	46	Hemerocallis 'Strawberry Candy' - Daylily 'Strawberry Candy'	#1
SED	27	Sedum 'Matrona'	#1

LANDSCAPE REQUIREMENTS:

R-5 and R-6 Multifamily shall contain, at a minimum one (1) tree per fifty (50) lineal feet of street frontage.

Re: Lined vegetation shall be seventeen (17) feet from the property line e. usually spaced, one tree every fifty (50) feet, and a minimum of 1.5 inches in diameter.

Total Frontage: 678' / 50 = 14 trees required
14 trees provided

PLANT LEGEND:

- MAPLE 'AUTUMN BLAZE'
- NORTHERN RED OAK
- LILAC TREE 'IVORY SILK'
- VIBURNUM 'BLUE MUFFIN'
- HYDRANGEA 'LITTLE LIME'
- SPIRAEA 'DAKOTA GOLDCHARM'
- ARBORVITAE 'HETZ MIDGET'
- REED GRASS 'KARL FOERSTER'
- GRASS 'LITTLE BLUESTEM'
- DAYLILY 'STRAWBERRY CANDY'
- SEDUM 'MATRONA'

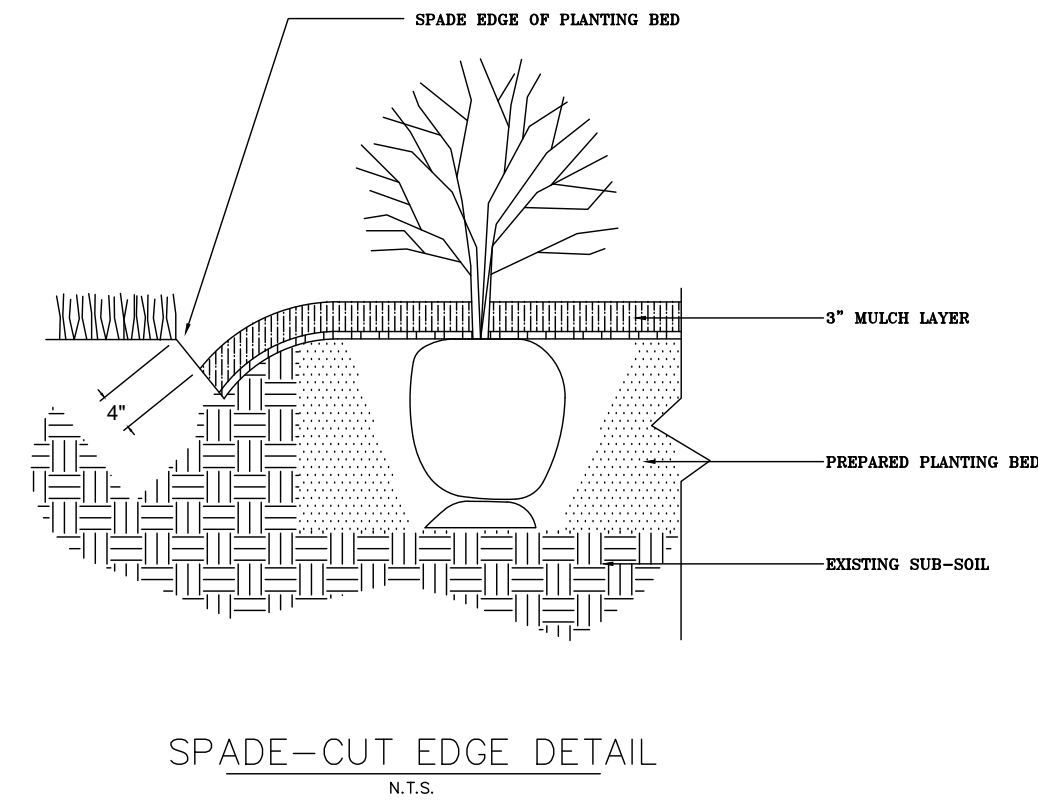
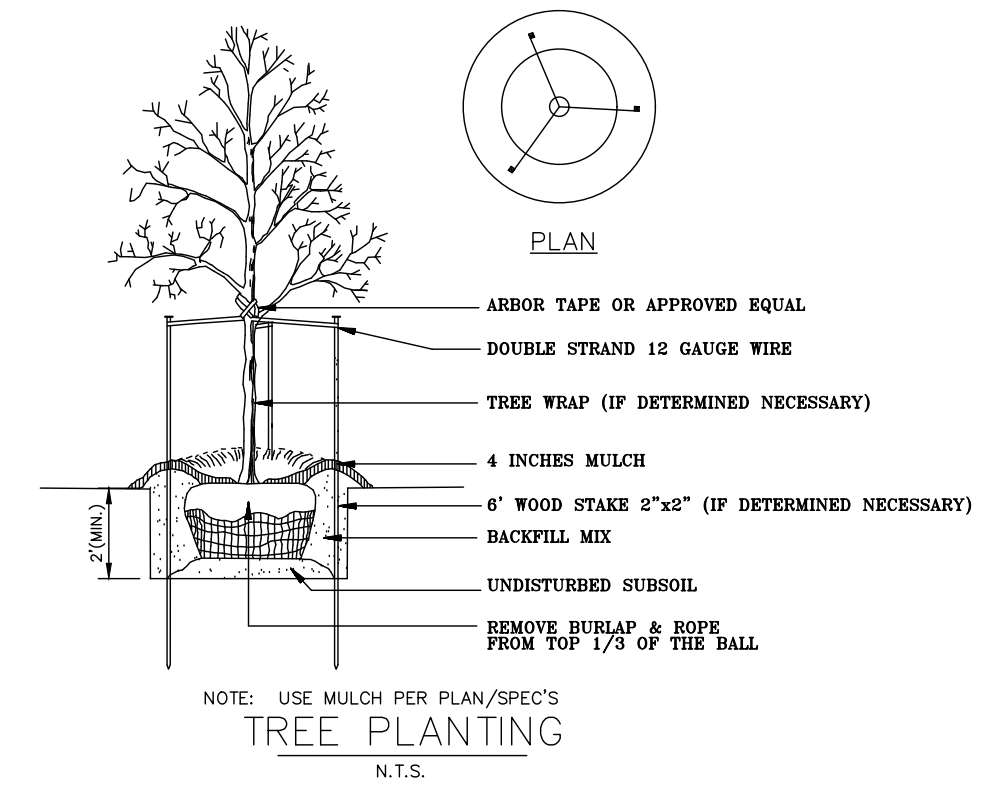
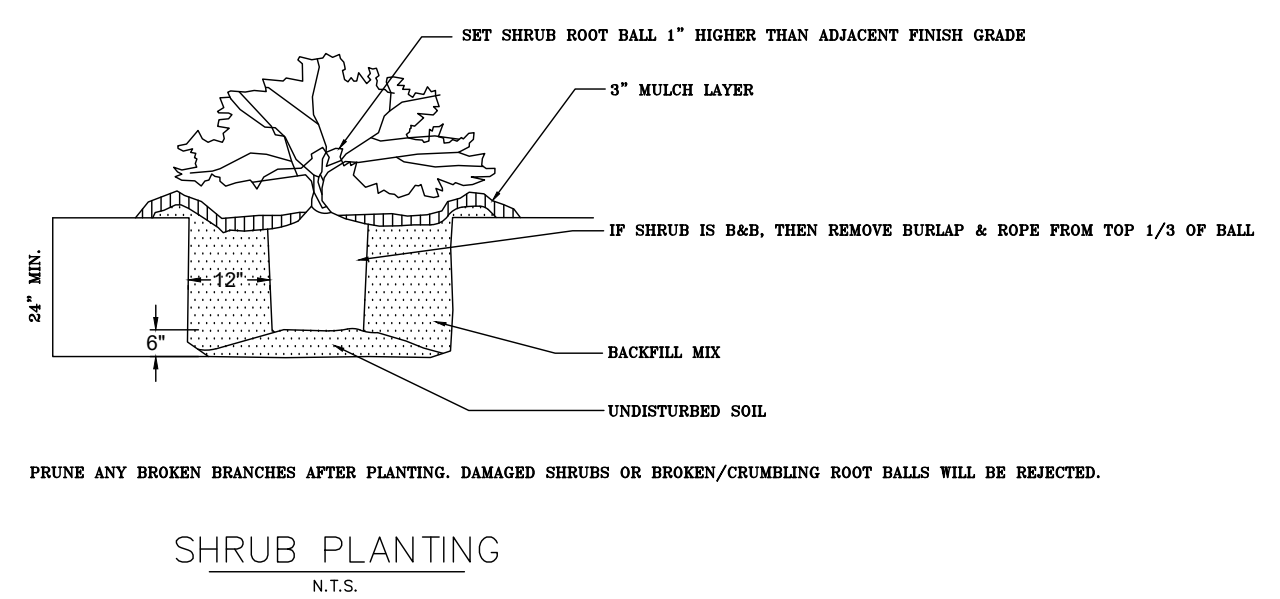
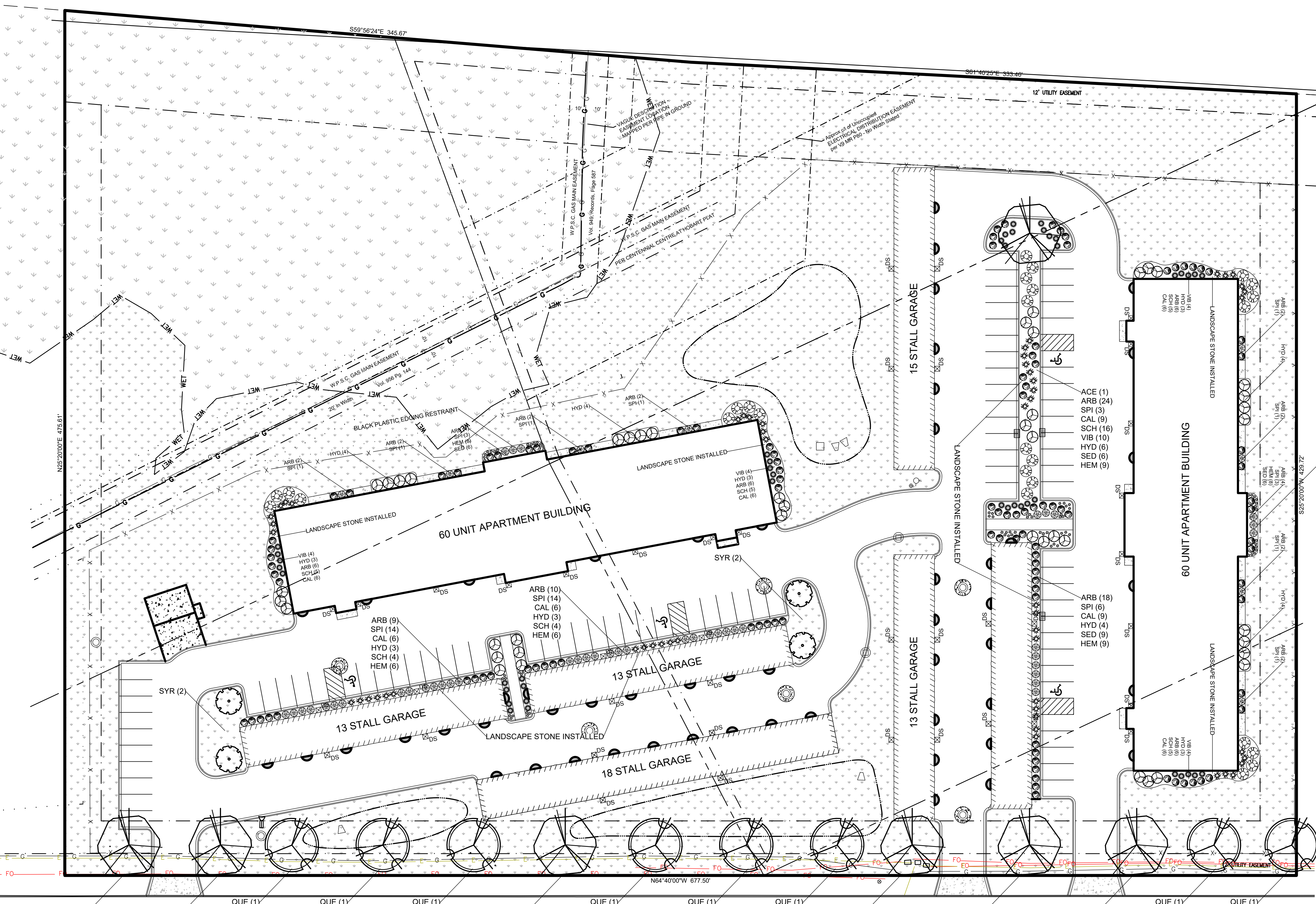
Evora - A Multifamily Development
 For Lexington Homes, INC.
 Centerline Drive
 Village of Hobart, Wisconsin 54155

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6-12-2024

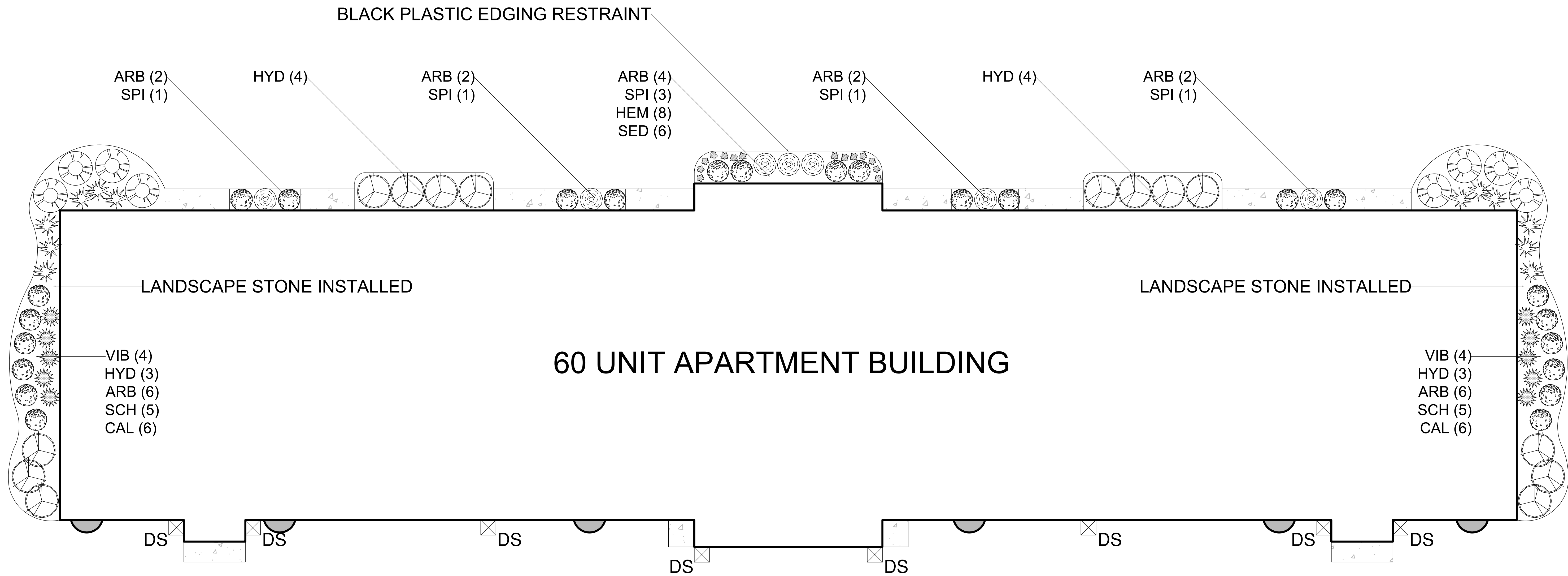
Landscape Plan



SHRUB PLANTING
N.T.S.

TREE PLANTING
N.T.S.

SPADE-CUT EDGE DETAIL
N.T.S.

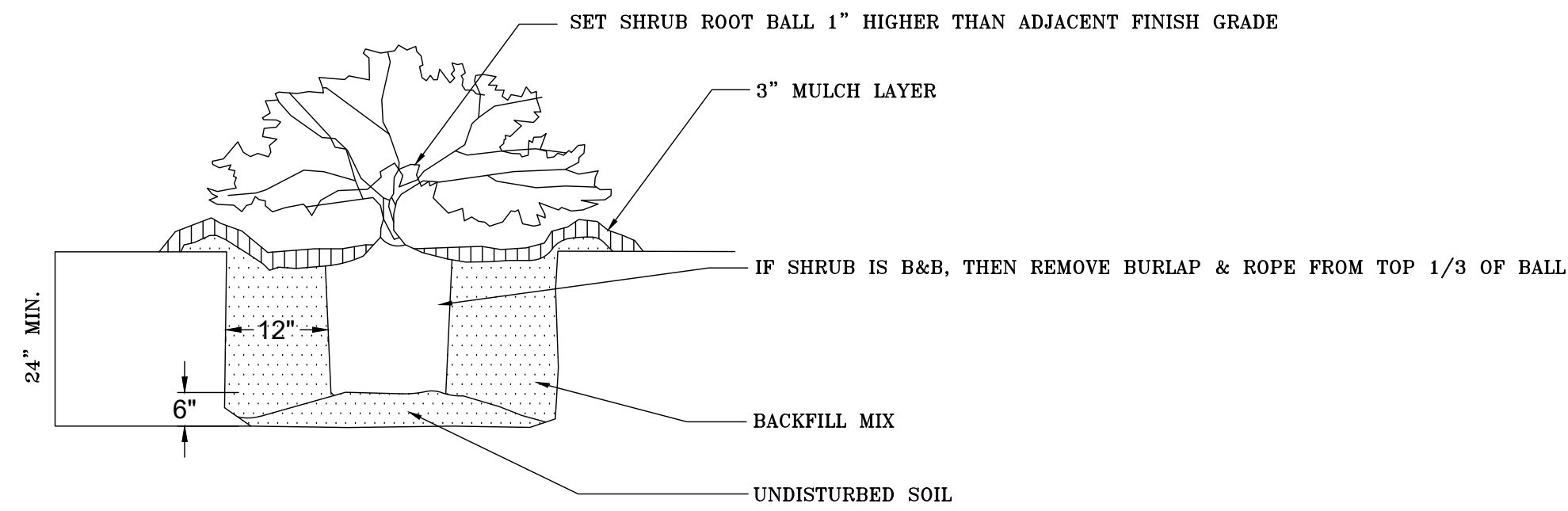


60 UNIT LANDSCAPE DETAIL



PLANT LEGEND:

- HYDRANGEA 'LITTLE LIME'
- VIBURNUM 'BLUE MUFFIN'
- SPIREA 'DAKOTA GOLDCHARM'
- ARBORVITAE 'HETZ MIDGET'
- GRASS 'LITTLE BLUESTEM'
- REED GRASS 'KARL FOERSTER'
- SEDUM 'MATRONA'
- DAYLILY 'STRAWBERRY CANDY'



PRUNE ANY BROKEN BRANCHES AFTER PLANTING. DAMAGED SHRUBS OR BROKEN/CRUMBLING ROOT BALLS WILL BE REJECTED.

SHRUB PLANTING
N.T.S.

PLANT SCHEDULE

SHRUBS	QTY	COMMON NAME / BOTANICAL NAME	SIZE
VIB	8	Viburnum 'Blue Muffin' - Viburnum dentatum 'Christom'	#5
HYD	14	Hydrangea 'Little Lime' - Hydrangea paniculata 'Jane'	#5
SPI	7	Spirea 'Dakota Goldcharm' - Spirea japonica 'Mertyann'	#5
ARB	24	Thuja occidentalis 'Hetz Midget' - Arborvitae 'Hetz Midget'	#5
ORNAMENTAL GRASSES	QTY	COMMON NAME / BOTANICAL NAME	SIZE
CAL	12	Calamagrostis acutiflora 'Karl Foerster' - Grass, Feather Reed	#1
SCH	10	Schizachrium scoparium - Grass, Little Bluestem	#1
PERENNIALS	QTY	COMMON NAME / BOTANICAL NAME	SIZE
HEM	8	Hemerocallis 'Strawberry Candy' - Daylily 'Strawberry Candy'	#1
SED	6	Sedum 'Matrona'	#1

Evora - A Multifamily Development
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6-12-2024

Landscape Detail